

# PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS



ECOTECH  
DESIGNS

BUILDING DREAMS SUSTAINABLY

24 SAURINE STREET, BANKSTOWN  
LOT 15 | DP 36213



## **DRAWING TITLE**

COVER PAGE

## **DRAWING NO**

DA01

## **PROJECT**

PROPOSED DUAL OCCUPANCY & SECONDARY  
DWELLINGS

## **ADDRESS**

24 SAURINE STREET, BANKSTOWN  
LOT 15 | DP 36213



24 SAURINE STREET, BANKSTOWN

OTEC  
DESIGNS  
DREAMS SUSTAINABLE

LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER
- PROPOSED FINISHED FLOOR LEVEL MARKER
- EXISTING FINISHED LEVEL ELEVATION MARKER
- PROPOSED FINISHED LEVEL ELEVATION MARKER
- FLOOR WASTE PENETRATION
- SMOKE ALARM TO AS3786
- DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
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LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
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- CEILING/ SOFFIT HEIGHT FROM FFL
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LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE TO BE REMOVED / DEMOLISHED
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-NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

-PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

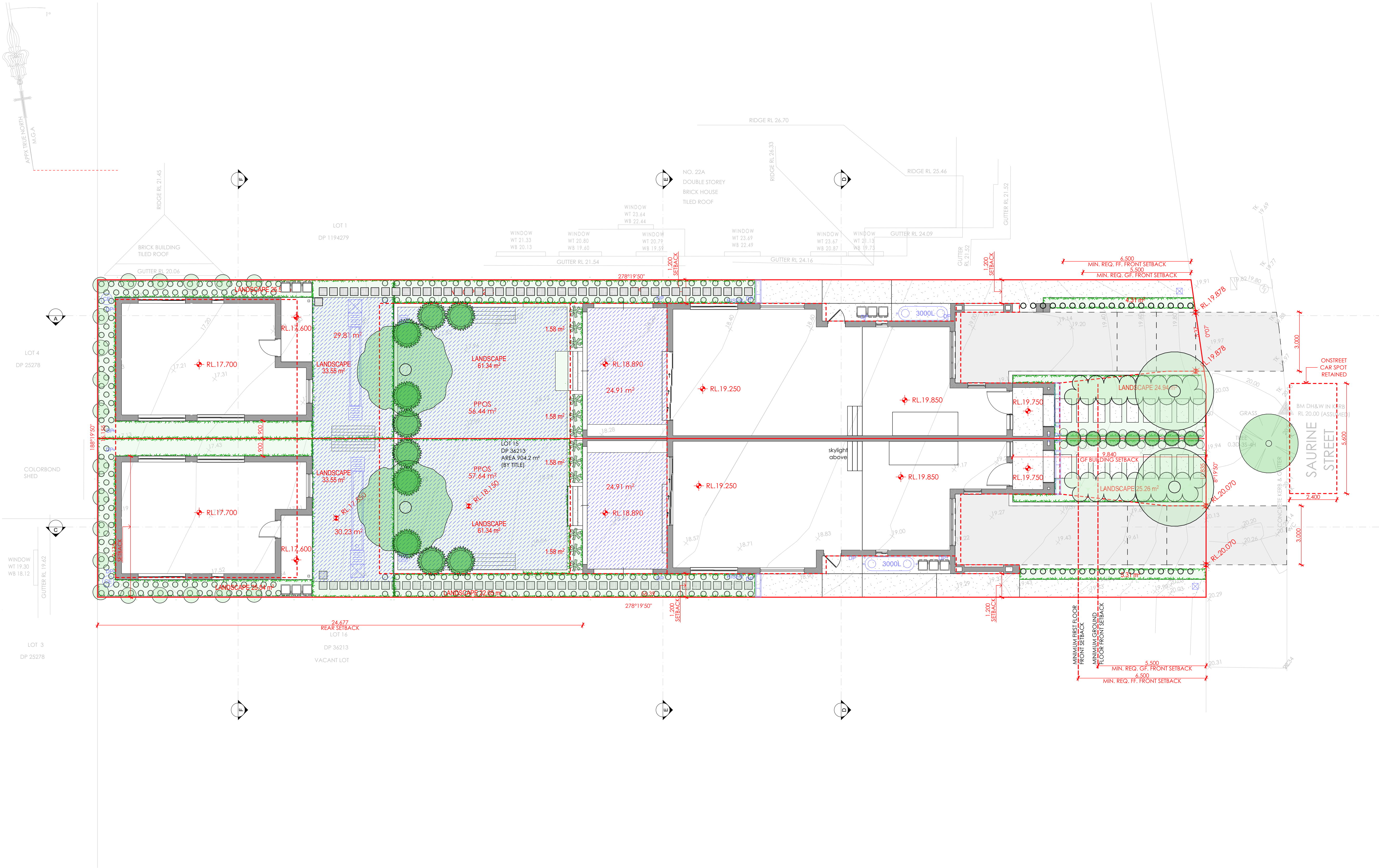
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-EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

-BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

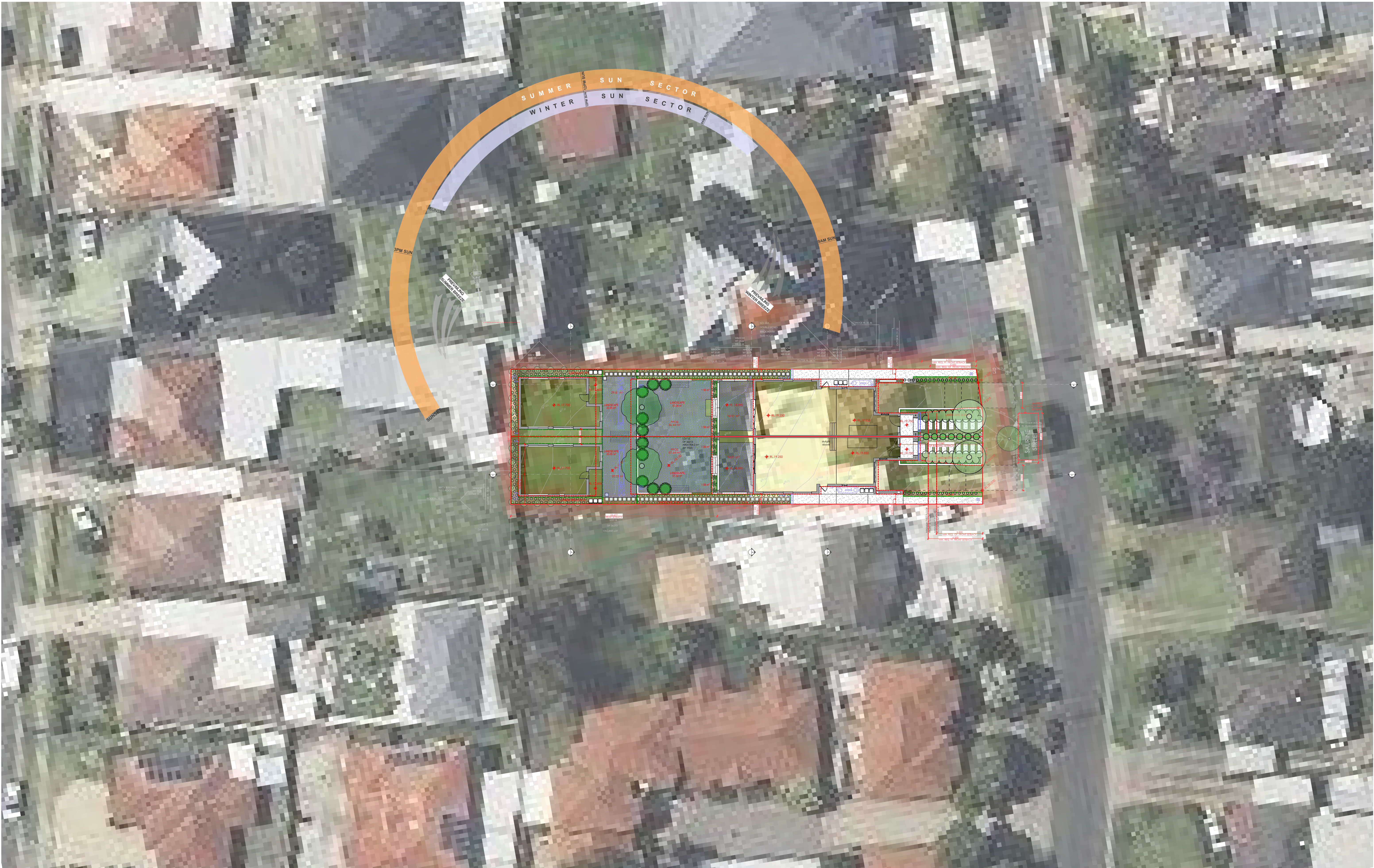
NOTES

- COMMON WALL FIRE SEPARATION CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022 (FRL 60/60/60)
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SITE PLAN  
1:100

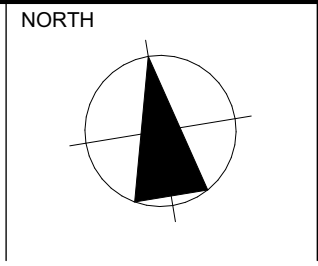
| ISSUE | DESCRIPTION                                | DATE       | NOTES                                                                                                                                                                                                                                               | SCALE                    | NORTH | DRAWING TITLE                   | PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS<br>24 SAURINE STREET, BANKSTOWN |                    |              |                |                         | ECOTECH DESIGNS<br>BUILDING DREAMS SUSTAINABLY |  |
|-------|--------------------------------------------|------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------|---------------------------------|-------------------------------------------------------------------------------|--------------------|--------------|----------------|-------------------------|------------------------------------------------|--|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 | The plans, drawings and specifications incorporated in this document shall remain the copyright © of ECOTECH DESIGNS PTY LTD and must not be used, reproduced or copied wholly or in part without prior written consent of ECOTECH DESIGNS PTY LTD. | 1:100 @ A1 or 1:200 @ A3 |       | SITE PLAN<br>DRAWING NO<br>DA04 | JOB NO.<br>26002                                                              | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |                                                |  |
|       |                                            |            | Figured dimensions shall take preference over scaling. Verify all dimensions on site.                                                                                                                                                               |                          |       |                                 |                                                                               |                    |              |                |                         |                                                |  |



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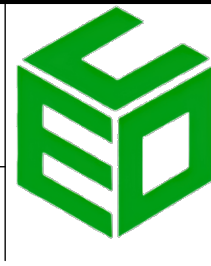
| NOTES                                                                                                                                                                                                                                               |
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| SCALE                    |
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| 1:100 @ A1 or 1:200 @ A3 |



| DRAWING TITLE |
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| SITE ANALYSIS |
| DRAWING NO    |
| DA05          |

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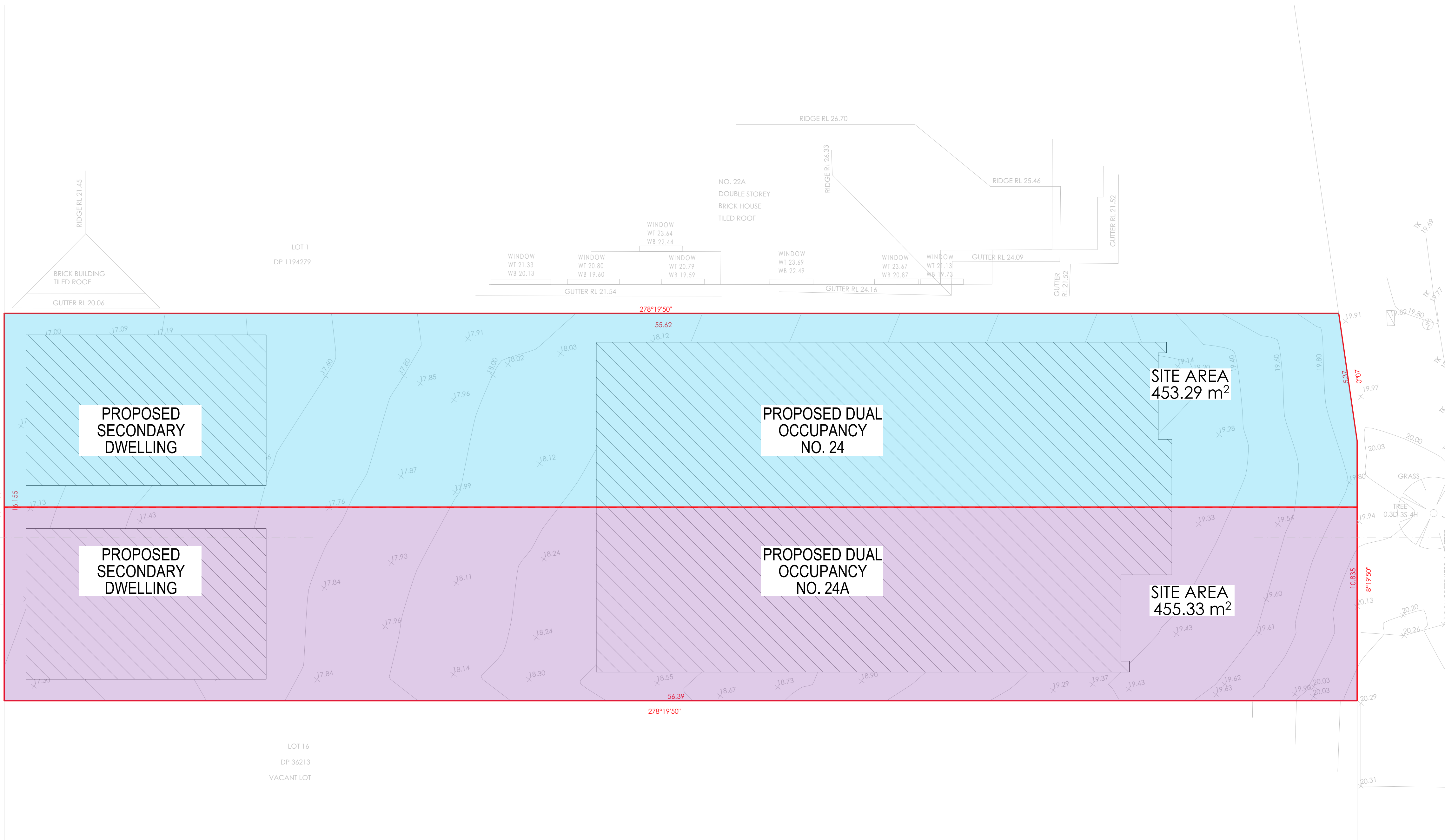
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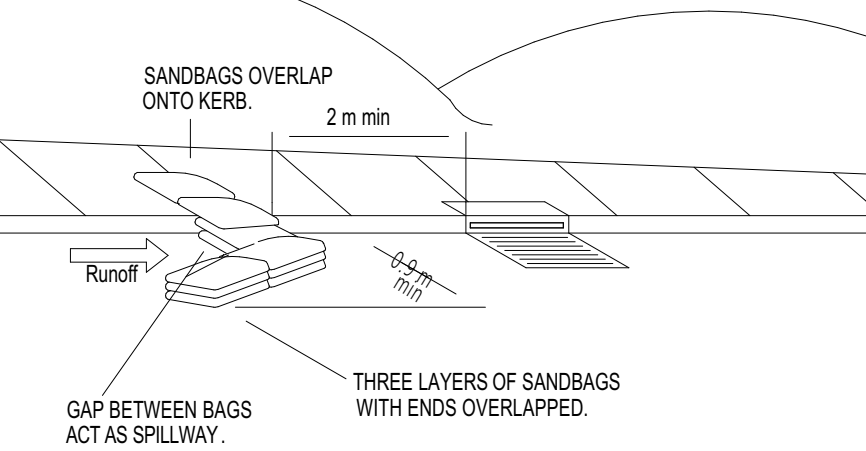
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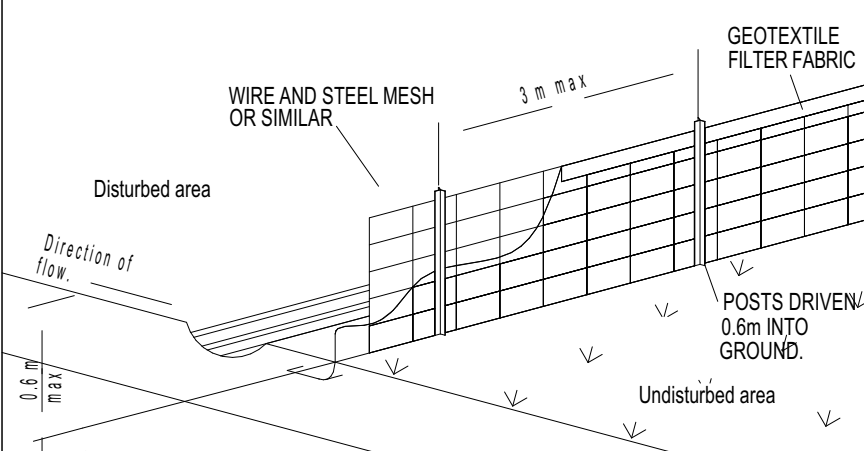
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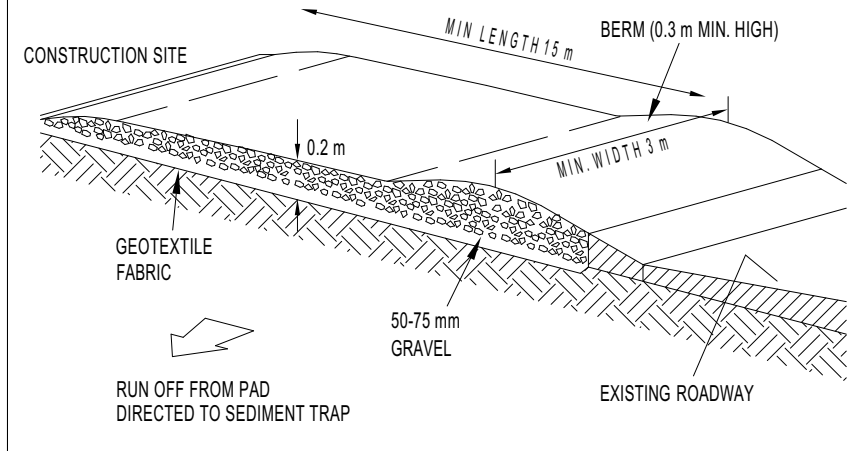
**SANDBAG KERB INLET  
SEDIMENT TRAP**

FIGURE 1 SCALE: NTS



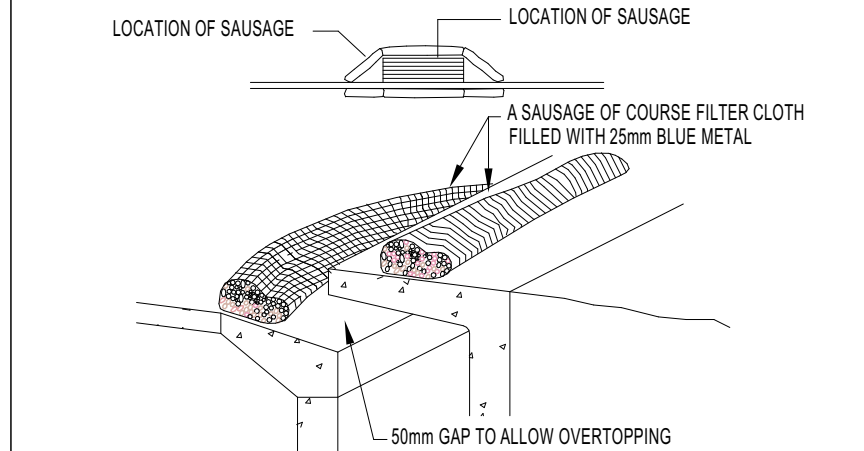
**SEDIMENT FENCE**

FIGURE 2 SCALE: NTS



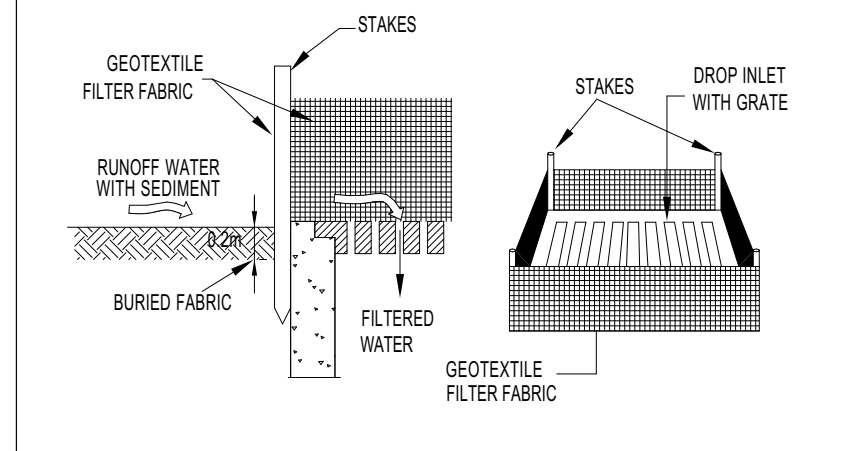
**TEMPORARY  
CONSTRUCTION EXIT**

FIGURE 3 SCALE: NTS



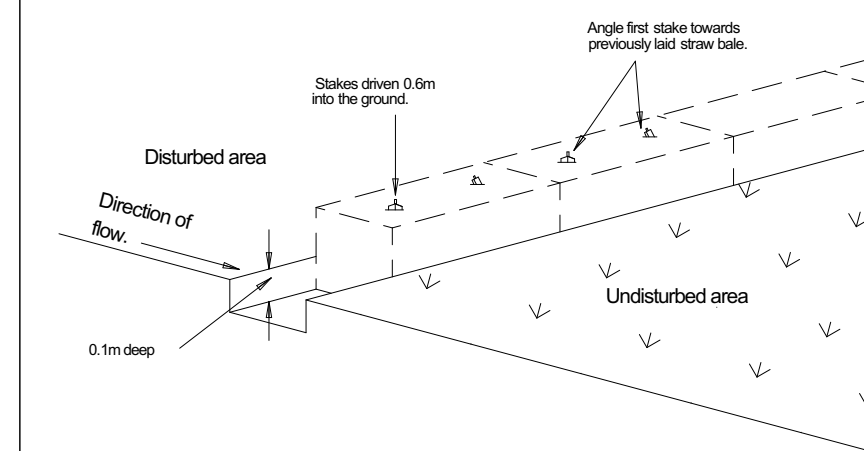
**KERB INLET CONTROL**

FIGURE 4 SCALE: NTS



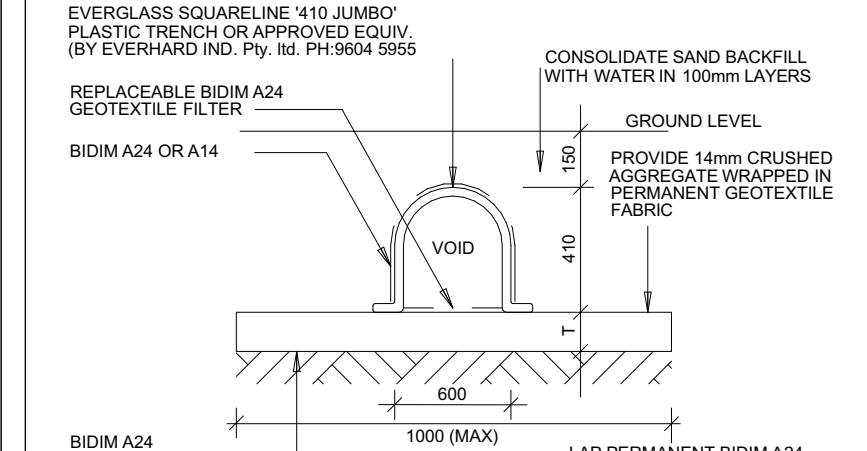
**GEOTEXTILE FILTER FABRIC  
DROP INLET SEDIMENT TRAP**

FIGURE 5 SCALE: NTS



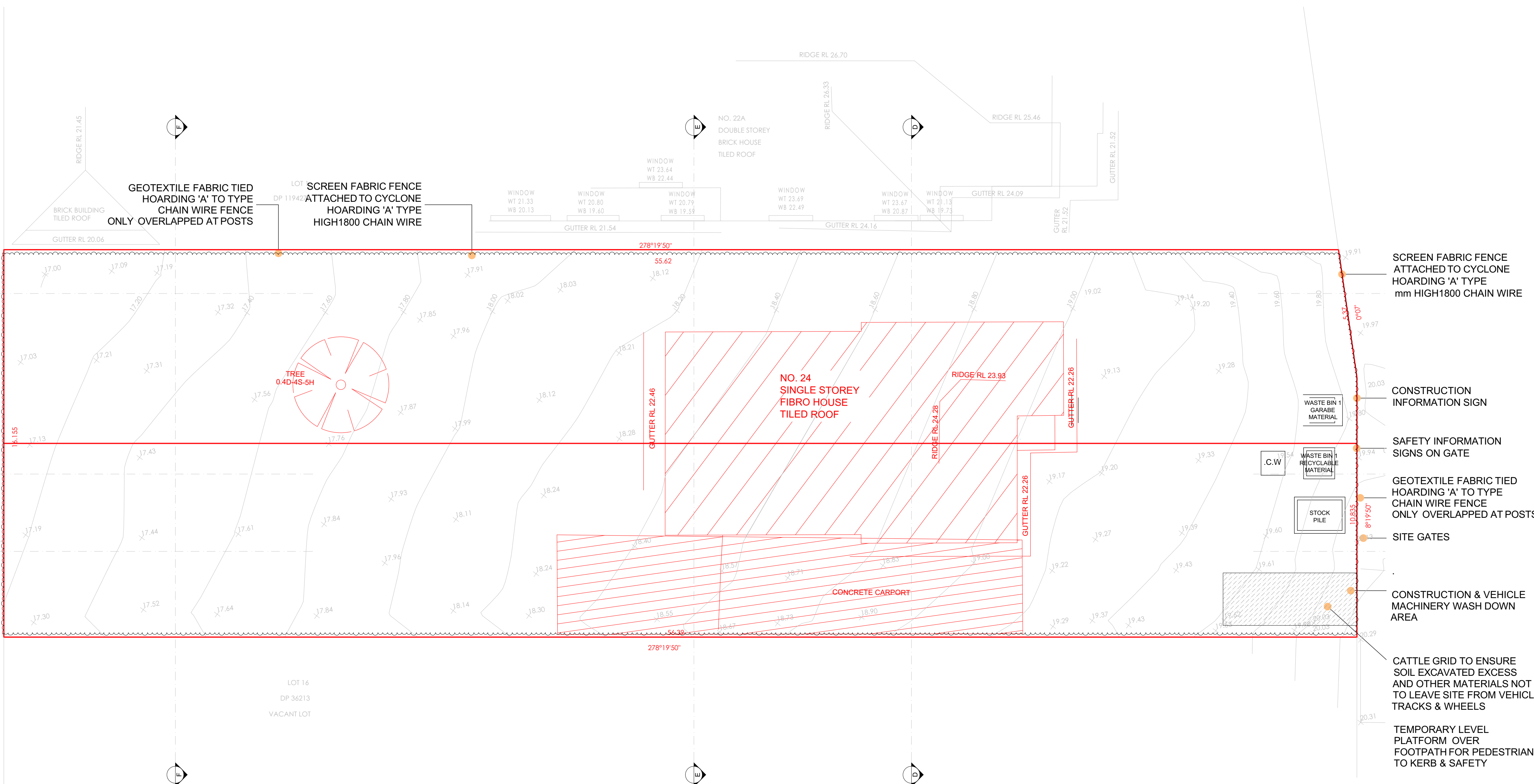
**STRAW BALE  
SEDIMENT FILTER**

FIGURE 6 SCALE: NTS



**ABSORPTION  
TRENCH DETAIL**

FIGURE 7 SCALE: NTS



- EROSION AND SEDIMENTATION CONTROL NOTES:**
- BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE BOUNDARIES. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (Eg. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND AND EXTENDING 200 BELOW GROUND AND TO EXTENT NOTED.
  - EXISTING AND NEW DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL UNTIL PAVEMENTS COMPLETED.
  - NO PARKING OR STOCK PILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
  - GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
  - ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.
  - CONSTRUCTION ENTRY / EXIT SHALL BE AS PER DETAIL. BUILDER SHALL ENSURE ALL DROPPABLE SOIL AND SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE, DO SO, IN A FORWARD DIRECTION.
- DEMOLITION NOTES:**
- HATCHED & DASHED AREAS INDICATES ITEMS & STRUCTURES TO BE DEMOLISHED
- EXISTING SERVICES: ELECTRICITY TO BE DISCONNECTED AND RECONNECTED THROUGH TEMPORARY SUPPLY (MAINTAIN METER).
- SEWERAGE AND STORMWATER TO BE CAPPED OFF WHERE REQUIRED. WATER SUPPLY TO BE CAPPED OFF WHERE NECESSARY TO ALLOW FOR CONSTRUCTION. TELEPHONE LINE TO BE RELOCATED IF NECESSARY TO TELSTRAS REQUIREMENTS
- MAINTAIN AND PROTECT CONSTRUCTION AND PROPERTY ON ADJOINING BLOCKS FROM DEMOLITION ACTIVITIES DISPOSE OF ALL DEMOLITION MATERIALS AND RUBBISH IN A MANNER ACCEPTABLE TO COUNCIL.
- PROPOSED METHOD : DISMANTLE ROOF, TRIMMER TRUSSES AND TIMBER BEAMS FOR SALVAGE AND RE-USE. REMOVAL OF ALL GLASS AND WINDOWS FOR RE-USE. BRICK WALLS TO BE DISMANTLED BY HAND AND SOLD. ANY BROKEN REMAINS TO BE CRUSHED FOR RECYCLING. INTERNAL GYPOCK WALLS AND FRAMES TO BE DISMANTLED BY HAND AND TAKEN TO TIP. THE REMAINS WOULD THEN BE MADE UP OF CONCRETE SLABS, VERANDAHS, CONCRETE DRIVEWAYS AND CARPARKING. THIS WOULD BE DELIVERED TO RECYCLERS.
- POLLUTION CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND THE REQUIREMENTS OF ENVIRONMENT ACT.
- ASBESTOS FIBRO SHEET WHERE ENCOUNTERED WILL BE DISPOSED OF BY A LICENCED ASBESTOS REMOVING CONTRACTOR ACCORDING WASTE SERVICES NSW ASBESTOS REMOVAL STANDARDS.
- VEGETATION - TREES TO BE REMOVED ARE TO BE DISPOSED IN ACCORDANCE WITH REQUIREMENTS OF ENVIRONMENT ACT.
- CONSTRUCTION MANAGEMENT NOTES:**
- SITE SIGANCE SHALL BE ERECTED ON SITE IN A PROMINENT POSITION STATING THE FOLLOWING:
    - THE NAME, ADDRESS AND TELEPHONE NUMBERS OF THE PCA
    - THE NAME OF THE PERSON IN CHARGE OF THE WORK SITE & A TELEPHONE NUMBER IN WHICH THAT PERSON MAY BE CONTACTED.
    - THAT UNAUTHORISED ENTRY TO THE WORK SITE IS PROHIBITED.
  - ALL MATERIALS MUST BE STORED WHOLLY WITHIN THE PROPERTY BOUNDARIES AND MUST NOT BE PLACED ON THE FOOTPATH OR ROADWAY.
  - ALL BUILDING WORKS IS RESTRICTED TO THE HOURS OF:  
7.00 AM - 5.00 PM MONDAY TO SATURDAY, EXPECT THAT ON SATURDAY NO MECHANICAL BUILDING EQUIPMENT CAN BE USED AFTER 12.00 NOON. NO WORK PERMITTED ON SUNDAYS OR PUBLIC HOLIDAYS.
  - ALL BUILDING CONSTRUCTION WORK MUST COMPLY WITH THE NATIONAL CONSTRUCTION CODE.
  - DISPLAY COUNCIL'S WARNING SIGN FOR SOIL & WATER MANAGEMENT ON THE MOST PROMINENT POINT ON THE BUDING SITE, VISIBLE TO BOTH THE STREET AND WORKERS
  - KEEP DRAINS, GUTTERS, ROADWAYS AND ACCESSWAYS FREE OF SOIL, CLAY AND SEDIMENT. WHERE REQUIRED, GUTTERS AND ROADWAYS MUST BE SWEEPED REGULARLY TO MAINTAIN THEM FREE FROM SEDIMENT. DO NOT HOSE DOWN.
  - PROVIDE A VEHICLE WASHDOWN AREA AT THE EXIT POINT OF THE SITE TO REMOVE LOOSE MATERIAL FROM ALL VEHICLES AND MACHINERY BEFORE ENTERING THE ROAD RESERVE. ALL RUN-OFF MUST DRAIN TO AN APPROVED SILT TRAP PRIOR TO DISPOSAL TO THE STORMWATER DRAINAGE SYSTEM IN ACCORDANCE WITH COUNCIL'S S.M.M.
  - METHOD OF SUPPORT TO EXCAVATION ADJACENT TO ADJOINING PROPERTIES OR ROAD RESERVE TO BE PROPOSED BY STRUCTURAL / CIVIL ENGINEER.
  - ALL CONSTRUCTION VEHICLES REQUIRED TO ENTER & EXIT THE SITE MUST DO SO IN A FORWARD DIRECTION IN ORDER TO ENSURE SAFE INGRESS AND EGRESS FROM THE SITE.
  - WHERE PRACTICLE THE LOADING AND UNLOADING OF EXCAVATION AND CONSTRUCTION MACHINERY AND BUILDING MATERIALS IS TO BE CONDUCTED WITHIN THE PROPERTY BOUNDARY.
  - SITE ENTRANCES AND EXITS MUST BE CONTROLLED BY A CERTIFIED TRAFFIC CONTROLLER TO SAFETY MANAGE PEDESTRIANS AND CONSTRUCTION RELATED VEHICLES IN THE FRONTAGE ROADWAY.
- STOCKPILE COVERED WITH GEOTEXTILE FABRIC AND WEIGHED DOWN WITH BRICKS OR ROCKS AND SAND AND MATERIAL DROP OFF AREA
- NOTE: EXISTING DRIVEWAY TO BE USED DURING CONSTRUCTION.

**LEGEND - DEMOLITION PLAN**

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- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING LEVELS



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| ISSUE | DESCRIPTION                                | DATE       | NOTES                                                                                                                                                                                                                                               | SCALE                    | NORTH | DRAWING TITLE                             | PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS<br>24 SAURINE STREET, BANKSTOWN |                    |              |                |                         | ECOTECH DESIGNS<br>BUILDING DREAMS SUSTAINABLY |  |
|-------|--------------------------------------------|------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------|-------------------------------------------|-------------------------------------------------------------------------------|--------------------|--------------|----------------|-------------------------|------------------------------------------------|--|
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|       |                                            |            | Figured dimensions shall take preference over scaling. Verify all dimensions on site.                                                                                                                                                               |                          |       |                                           |                                                                               |                    |              |                |                         |                                                |  |

LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EX.RL.0.000 EXISTING FINISHED FLOOR LEVEL MARKER
- PROPOSED FINISHED FLOOR LEVEL MARKER
- EX.RL.0.000 EXISTING FINISHED LEVEL ELEVATION MARKER
- PROPOSED FINISHED LEVEL ELEVATION MARKER
- F.W FLOOR WASTE PENETRATION
- S.A SMOKE ALARM TO AS3786
- FALL 1:8.5 DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- PLANTER DRAIN OUTLET
- SPOOD DRAIN OUTLET
- RAIN WATER OUTLET
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- CEILING/ SOFFIT HEIGHT FROM FFL
- RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE TO BE REMOVED / DEMOLISHED
- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

-PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

-NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

-PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

-REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

-EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

-BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

NOTES

- COMMON WALL FIRE SEPARATION CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022 (FRL 60/60/60)
- COMMON WALL SOUND SEPARATION CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022
- MECHANICAL VENTILATION CLAUSE 10.6.2 OF THE HOUSING PROVISIONS 2022
- SMOKE ALARMS CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022
- BALUSTRADES INSTALLATION CLAUSE 11.3.4 OF THE HOUSING PROVISIONS 2022
- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022

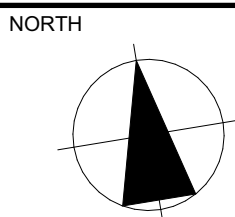
01

GROUND FLOOR  
1:100

| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
|       |                                            |            |
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SCALE  
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DRAWING TITLE  
**GROUND FLOOR PLAN**  
DRAWING NO  
**DA09**

**PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS**  
24 SAURINE STREET, BANKSTOWN

|                  |                    |              |                |                         |
|------------------|--------------------|--------------|----------------|-------------------------|
| JOB NO.<br>26002 | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |
|------------------|--------------------|--------------|----------------|-------------------------|



LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER
- PROPOSED FINISHED FLOOR LEVEL MARKER
- EXISTING FINISHED LEVEL ELEVATION MARKER
- PROPOSED FINISHED LEVEL ELEVATION MARKER
- FLOOR WASTE PENETRATION
- SMOKE ALARM TO AS3786
- DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- PLANTER DRAIN OUTLET
- SPOOD DRAIN OUTLET
- RAIN WATER OUTLET
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- CEILING/ SOFFIT HEIGHT FROM FFL
- RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE TO BE REMOVED / DEMOLISHED
- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

-PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

-NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

-PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

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-BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

NOTES

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- SMOKE ALARMS CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022
- BALUSTRADES INSTALLATION CLAUSE 11.3.4 OF THE HOUSING PROVISIONS 2022
- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022

01  
-

FIRST FLOOR  
1:100

| ISSUE | DESCRIPTION                                | DATE       | NOTES                                                                                                                                                                                                                                                                                                                                            | SCALE                    | NORTH | DRAWING TITLE                          | PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS<br>24 SAURINE STREET, BANKSTOWN |                    |              |                |                         | ECOTECH DESIGNS<br>BUILDING DREAMS SUSTAINABLY |  |
|-------|--------------------------------------------|------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------|----------------------------------------|-------------------------------------------------------------------------------|--------------------|--------------|----------------|-------------------------|------------------------------------------------|--|
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|       |                                            |            |                                                                                                                                                                                                                                                                                                                                                  |                          |       |                                        |                                                                               |                    |              |                |                         |                                                |  |
|       |                                            |            |                                                                                                                                                                                                                                                                                                                                                  |                          |       |                                        |                                                                               |                    |              |                |                         |                                                |  |
|       |                                            |            |                                                                                                                                                                                                                                                                                                                                                  |                          |       |                                        |                                                                               |                    |              |                |                         |                                                |  |

LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER
- PROPOSED FINISHED FLOOR LEVEL MARKER
- EXISTING FINISHED LEVEL ELEVATION MARKER
- PROPOSED FINISHED LEVEL ELEVATION MARKER
- FLOOR WASTE PENETRATION
- SMOKE ALARM TO AS3786
- DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- PLANTER DRAIN OUTLET
- SPOOD DRAIN OUTLET
- RAIN WATER OUTLET
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- CEILING/ SOFFIT HEIGHT FROM FFL
- RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE TO BE REMOVED / DEMOLISHED
- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

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NOTES

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- BALUSTRADES INSTALLATION CLAUSE 11.3.4 OF THE HOUSING PROVISIONS 2022
- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022

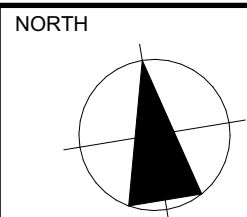
01

ROOF PLAN  
1:100

| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
|       |                                            |            |
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SCALE  
1:100 @ A1 or 1:200 @ A3



DRAWING TITLE  
ROOF PLAN  
DRAWING NO  
DA11

PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS  
24 SAURINE STREET, BANKSTOWN

|                  |                    |              |                |                         |
|------------------|--------------------|--------------|----------------|-------------------------|
| JOB NO.<br>26002 | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |
|------------------|--------------------|--------------|----------------|-------------------------|



LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY  
GRIDLINE  
STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS  
DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS  
EXISTING SITE LEVELS  
PROPOSED TOP OF WALL LEVEL (TOW)  
PROPOSED BOTTOM OF WALL LEVEL (BOM)  
EXTERNAL LANDSCAPE AREA  
CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION  
PROPOSED BUILDING FOOTPRINT  
SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)  
LANDSCAPING AREA (MIN. 1.5x1.5m)  
PRIVATE OPEN SPACE (MIN. 4x4m)  
ARTICULATION ZONE (1.5m)  
ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER  
PROPOSED FINISHED FLOOR LEVEL MARKER  
EXISTING FINISHED LEVEL ELEVATION MARKER  
PROPOSED FINISHED LEVEL ELEVATION MARKER  
FLOOR WASTE PENETRATION  
SMOKE ALARM TO AS3786  
DIRECTION AND ANGLE OF INCLINING GRADIENT  
REVIEW / REVISION CLOUD  
PENETRATION ABOVE  
FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS  
PLANTER DRAIN OUTLET  
SPOOD DRAIN OUTLET  
RAIN WATER OUTLET  
STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS  
RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL  
50MM SETDOWN TO WET AREA  
100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH  
PLASTER BOARD CEILING - PAINT FINISH  
PLASTER BOARD CEILING - PAINT FINISH  
CEILING/ SOFFIT HEIGHT FROM FFL  
RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED, REPAIR & REINSTATE ADJOINING SURFACES.  
EXISTING SITE TO BE REMOVED / DEMOLISHED  
EXISTING TREES TO REMAIN, REFER ALSO TO LANDSCAPE DRAWING.  
EXISTING TREES TO BE REMOVED, REFER ALSO TO LANDSCAPE DRAWING.

-PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

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-PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

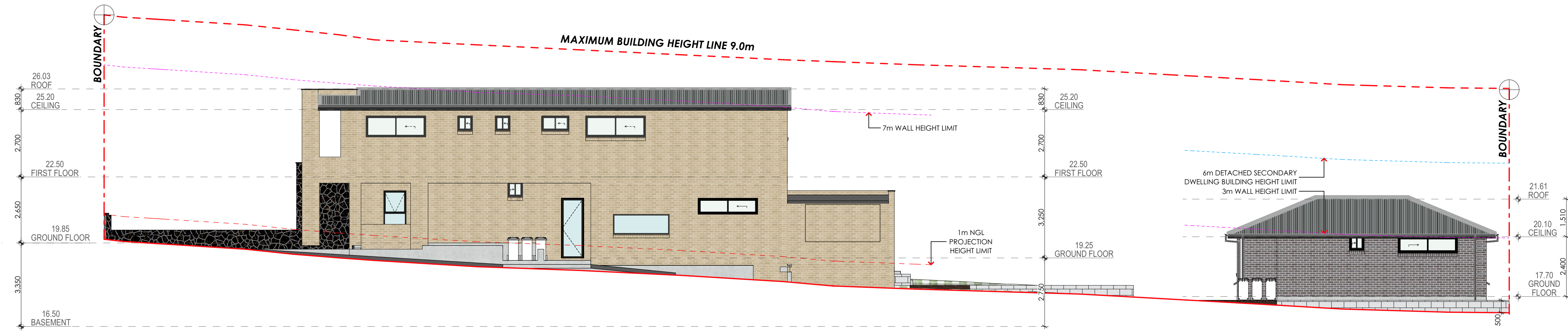
-REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

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-BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

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- BALUSTRADES INSTALLATION CLAUSE 11.3.4 OF THE HOUSING PROVISIONS 2022  
- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022



NORTH ELEVATION  
1:100

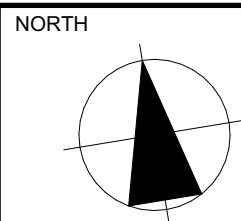


SOUTH ELEVATION  
1:100

| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
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SCALE  
1:100 @ A1 or 1:200 @ A3



DRAWING TITLE  
ELEVATIONS  
DRAWING NO  
DA12

PROPOSED DUAL OCCUPANCY & SECONDARY  
DWELLINGS  
24 SAURINE STREET, BANKSTOWN

|                  |                    |              |                |                         |
|------------------|--------------------|--------------|----------------|-------------------------|
| JOB NO.<br>26002 | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |
|------------------|--------------------|--------------|----------------|-------------------------|



LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER
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- SMOKE ALARM TO AS3786
- DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

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- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- PLANTER DRAIN OUTLET
- SPOOD DRAIN OUTLET
- RAIN WATER OUTLET
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- CEILING/ SOFFIT HEIGHT FROM FFL
- RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE TO BE REMOVED / DEMOLISHED
- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

-PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

-NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

-PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

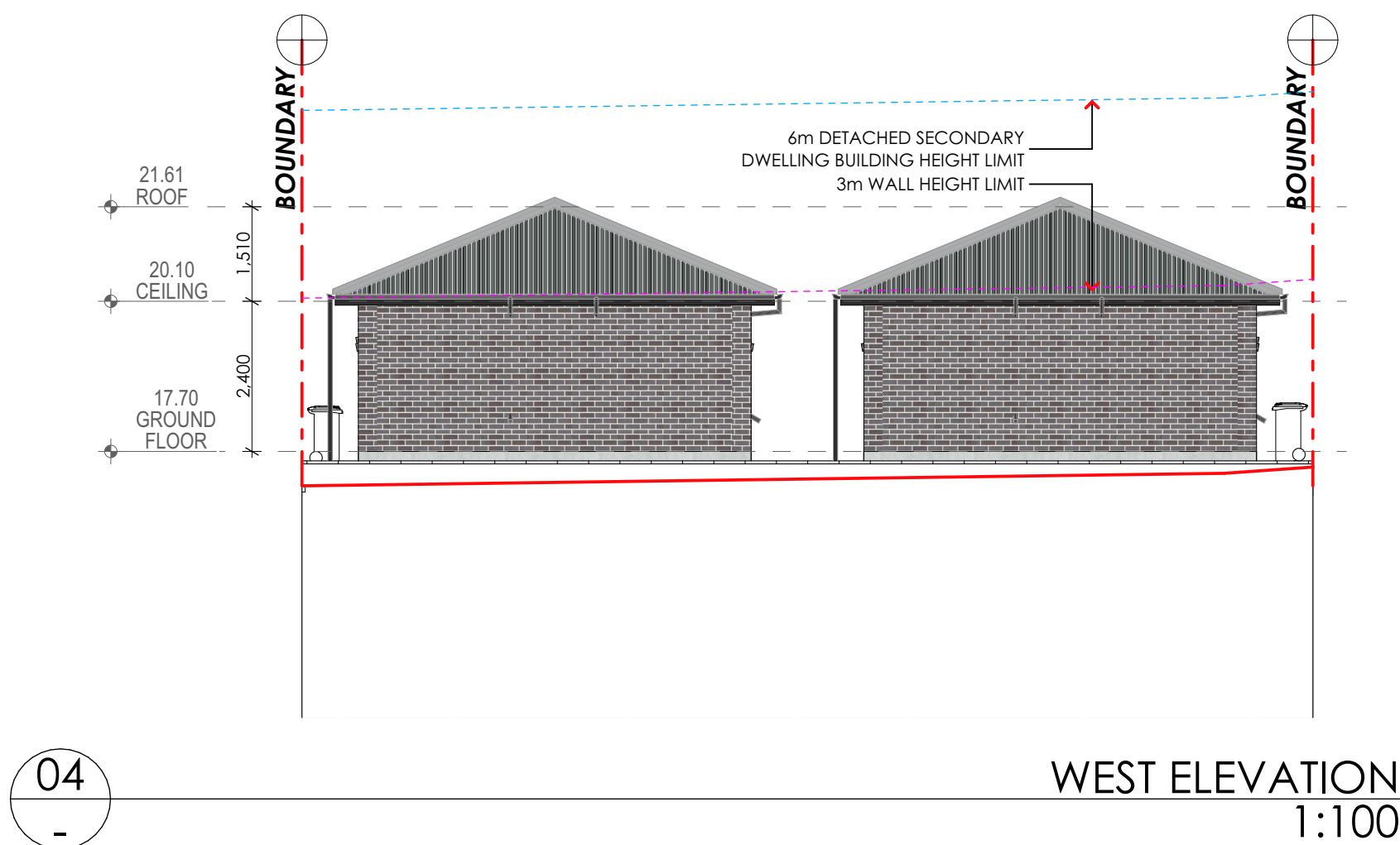
-REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

-EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

-BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

NOTES

- COMMON WALL FIRE SEPARATION CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022 (FRL 60/60/60)
- COMMON WALL SOUND SEPARATION CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022
- MECHANICAL VENTILATION CLAUSE 10.6.2 OF THE HOUSING PROVISIONS 2022
- SMOKE ALARMS CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022
- BALUSTRADES INSTALLATION CLAUSE 11.3.4 OF THE HOUSING PROVISIONS 2022
- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022



| ISSUE | DESCRIPTION                                | DATE       | NOTES                                                                                                                                                                                                                                               | SCALE                    | NORTH | DRAWING TITLE                    | PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS |                    |              |                |                         | ECOTECH DESIGNS             |  |
|-------|--------------------------------------------|------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------|----------------------------------|-----------------------------------------------|--------------------|--------------|----------------|-------------------------|-----------------------------|--|
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|       |                                            |            | Figured dimensions shall take preference over scaling. Verify all dimensions on site.                                                                                                                                                               |                          |       |                                  | JOB NO.<br>26002                              | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |                             |  |

LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER
- PROPOSED FINISHED FLOOR LEVEL MARKER
- EXISTING FINISHED LEVEL ELEVATION MARKER
- PROPOSED FINISHED LEVEL ELEVATION MARKER
- FLOOR WASTE PENETRATION
- SMOKE ALARM TO AS3786
- DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- PLANTER DRAIN OUTLET
- SPOOD DRAIN OUTLET
- RAIN WATER OUTLET
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- CEILING/ SOFFIT HEIGHT FROM FFL
- RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

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- EXISTING SITE TO BE REMOVED / DEMOLISHED
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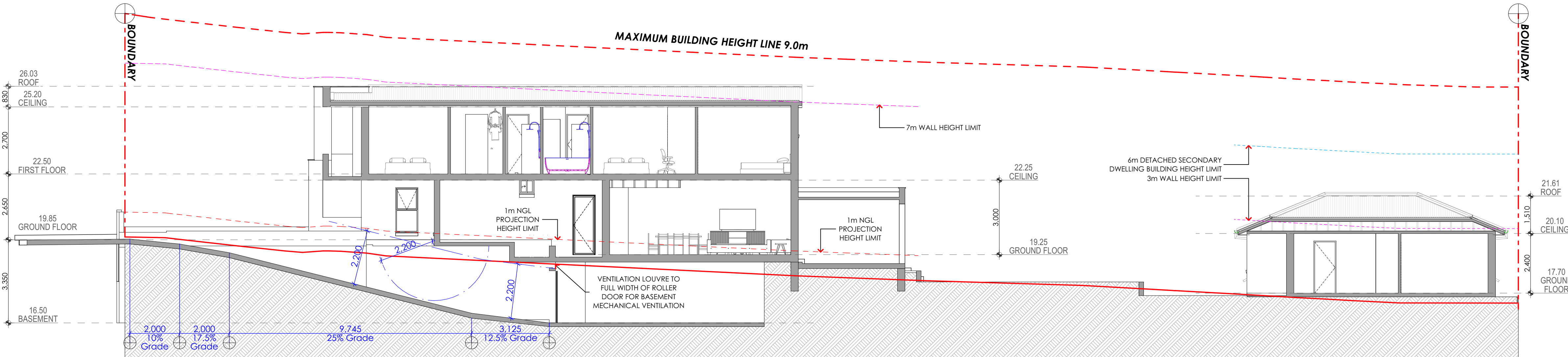
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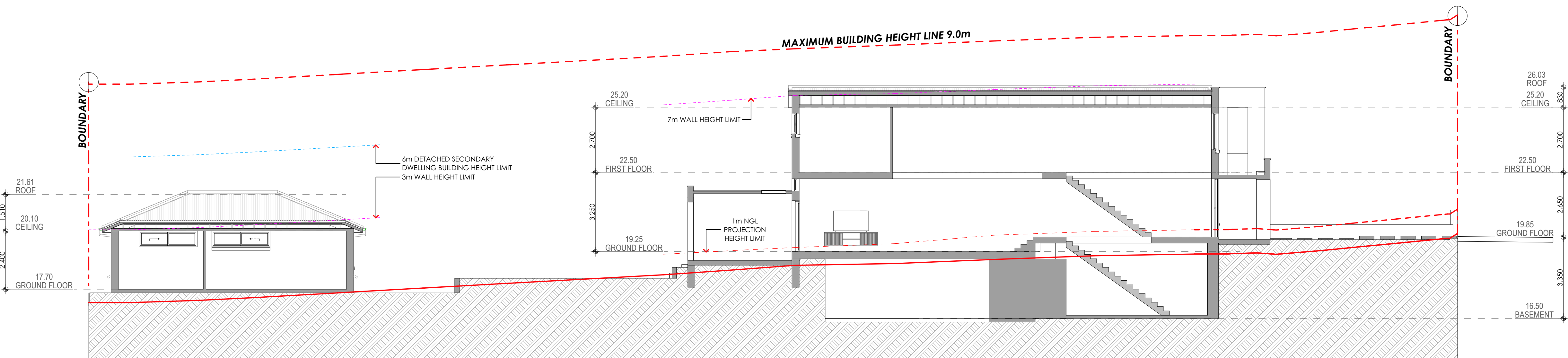
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NOTES

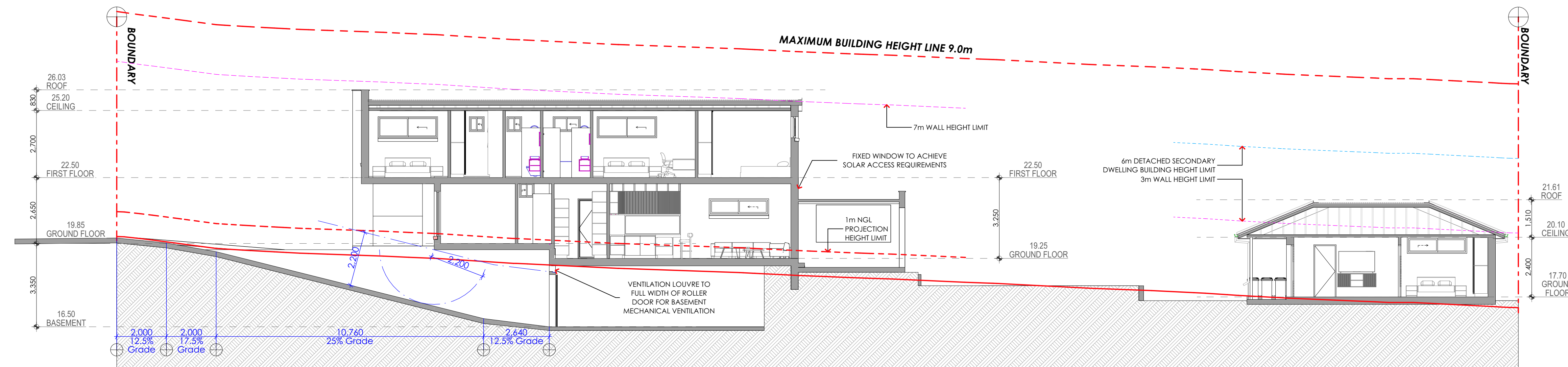
- COMMON WALL FIRE SEPARATION CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022 (FRL 60/60/60)
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- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022



SECTION A  
1:100



SECTION B  
1:100

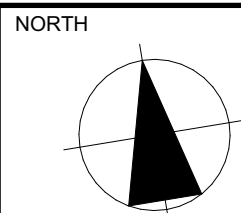


SECTION C  
1:100

| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
|       |                                            |            |
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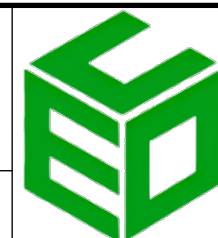
SCALE  
1:100 @ A1 or 1:200 @ A3



DRAWING TITLE  
SECTIONS  
DRAWING NO  
DA14

PROPOSED DUAL OCCUPANCY & SECONDARY  
DWELLINGS  
24 SAURINE STREET, BANKSTOWN

|                  |                    |              |                |                         |
|------------------|--------------------|--------------|----------------|-------------------------|
| JOB NO.<br>26002 | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |
|------------------|--------------------|--------------|----------------|-------------------------|



ECOTECH  
DESIGNS  
BUILDING DREAMS SUSTAINABLY

LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
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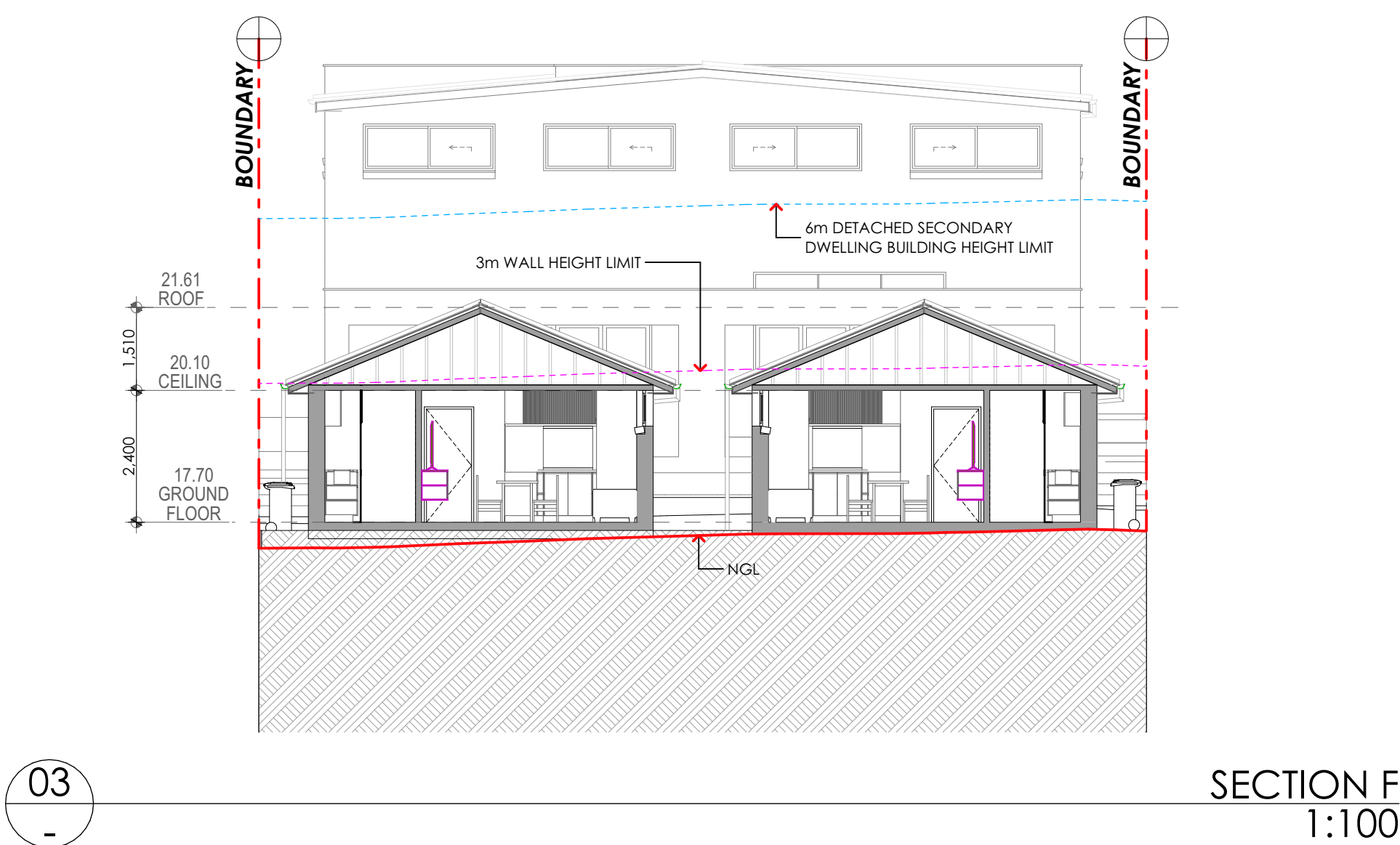
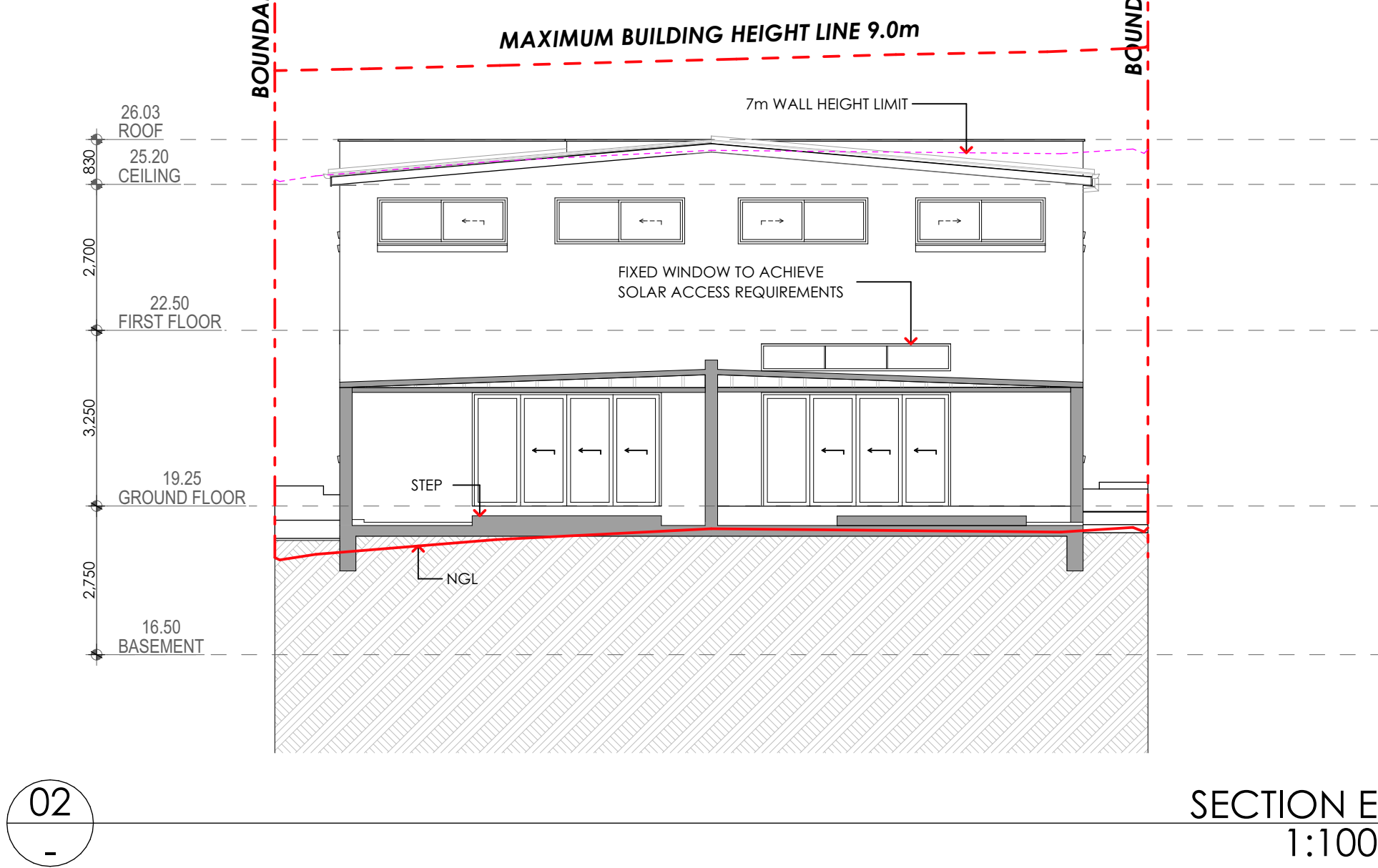
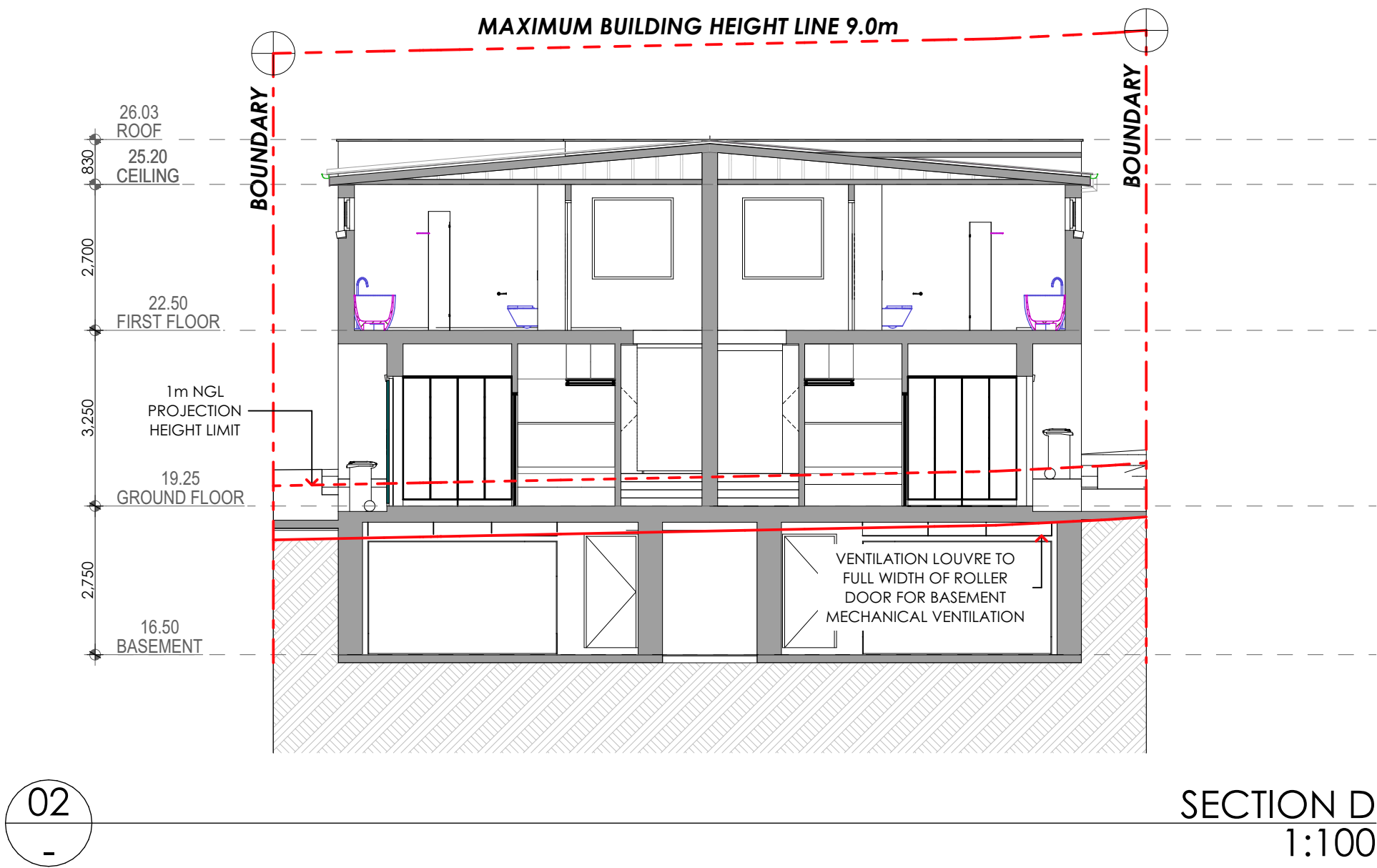
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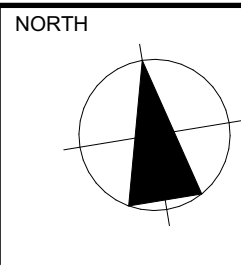
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| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
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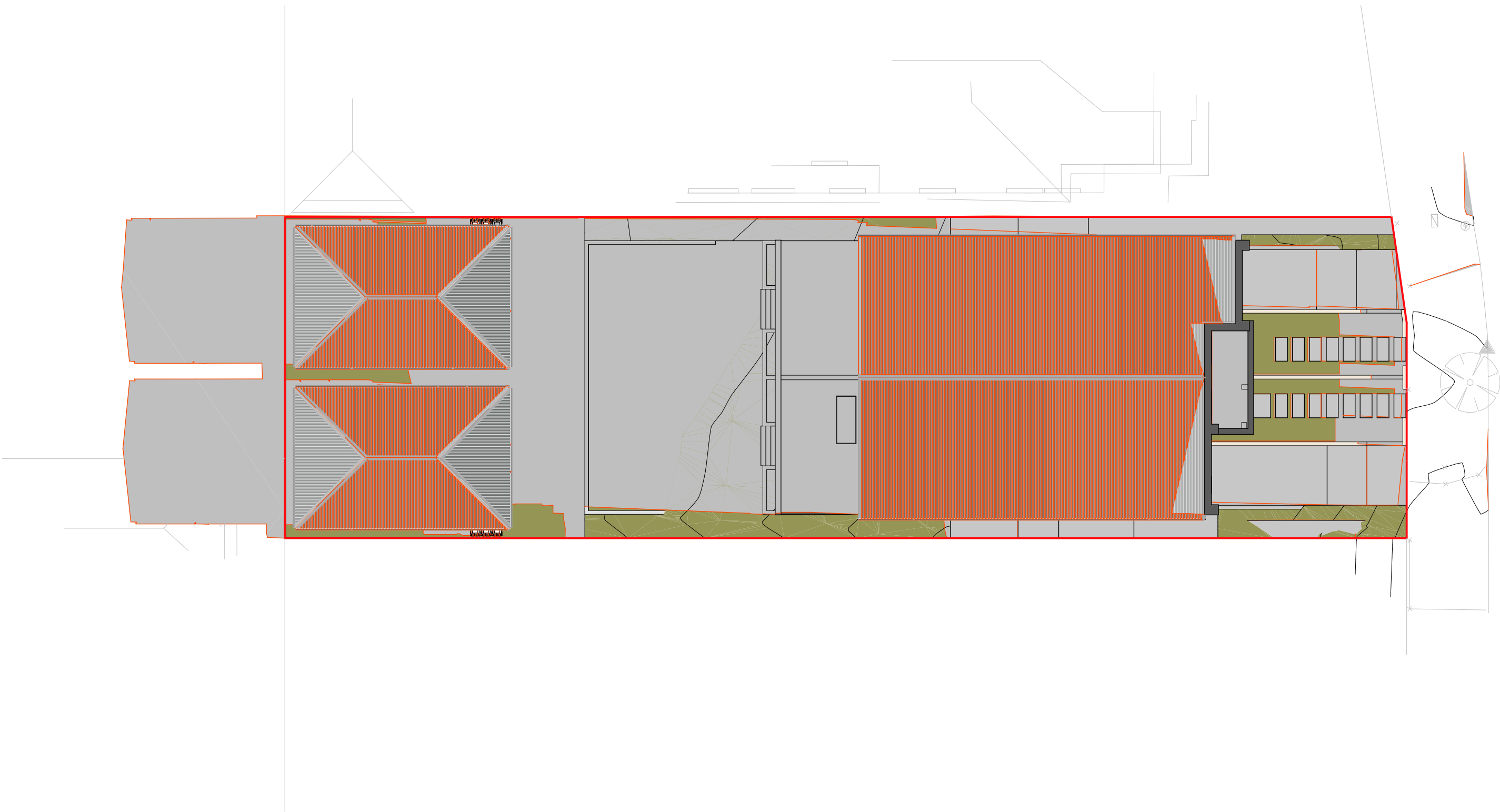
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DRAWING TITLE  
SECTIONS  
DRAWING NO  
DA15

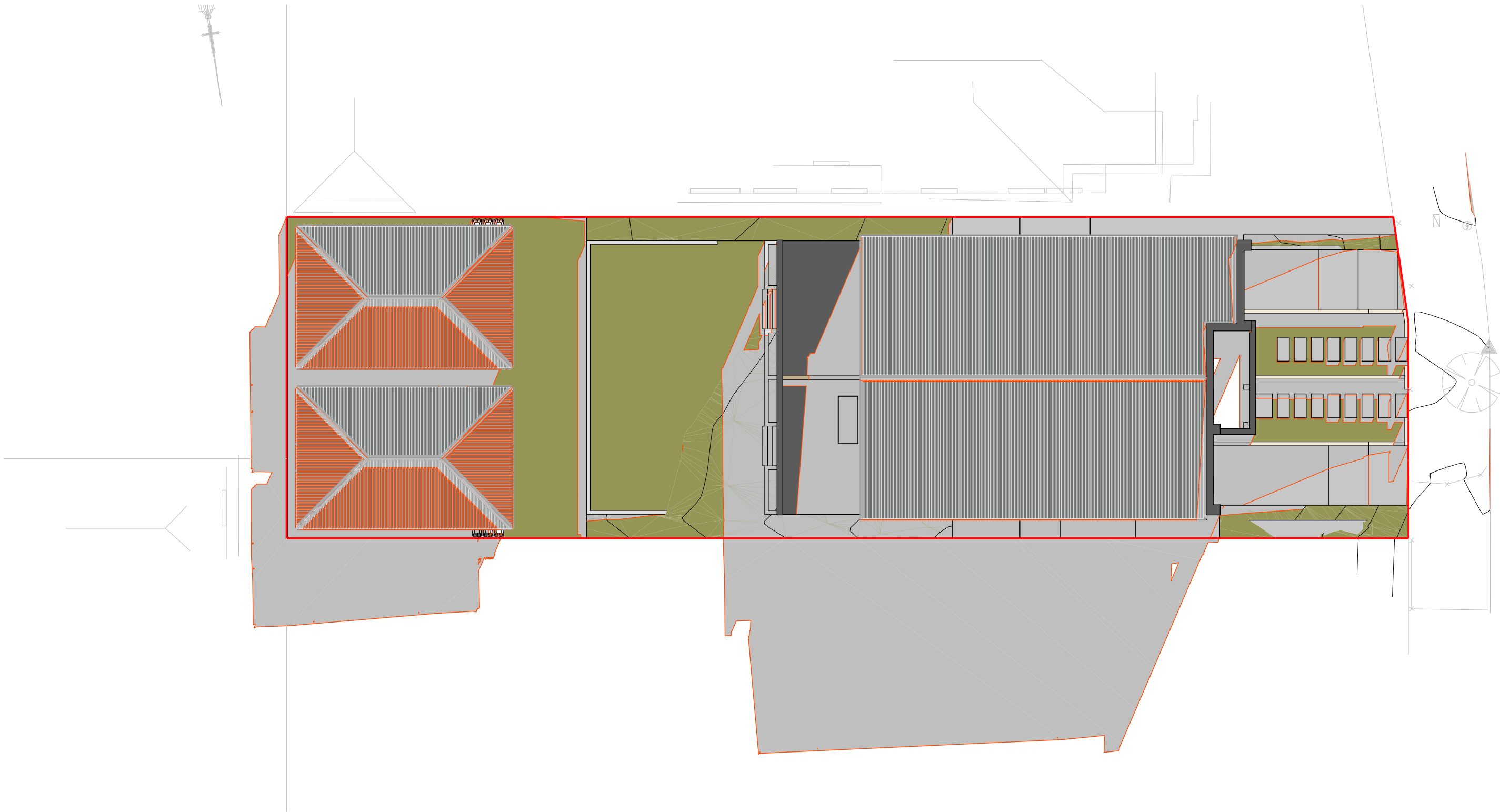
| PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS<br>24 SAURINE STREET, BANKSTOWN |                    |              |                |                         |
|-------------------------------------------------------------------------------|--------------------|--------------|----------------|-------------------------|
| JOB NO.<br>26002                                                              | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |





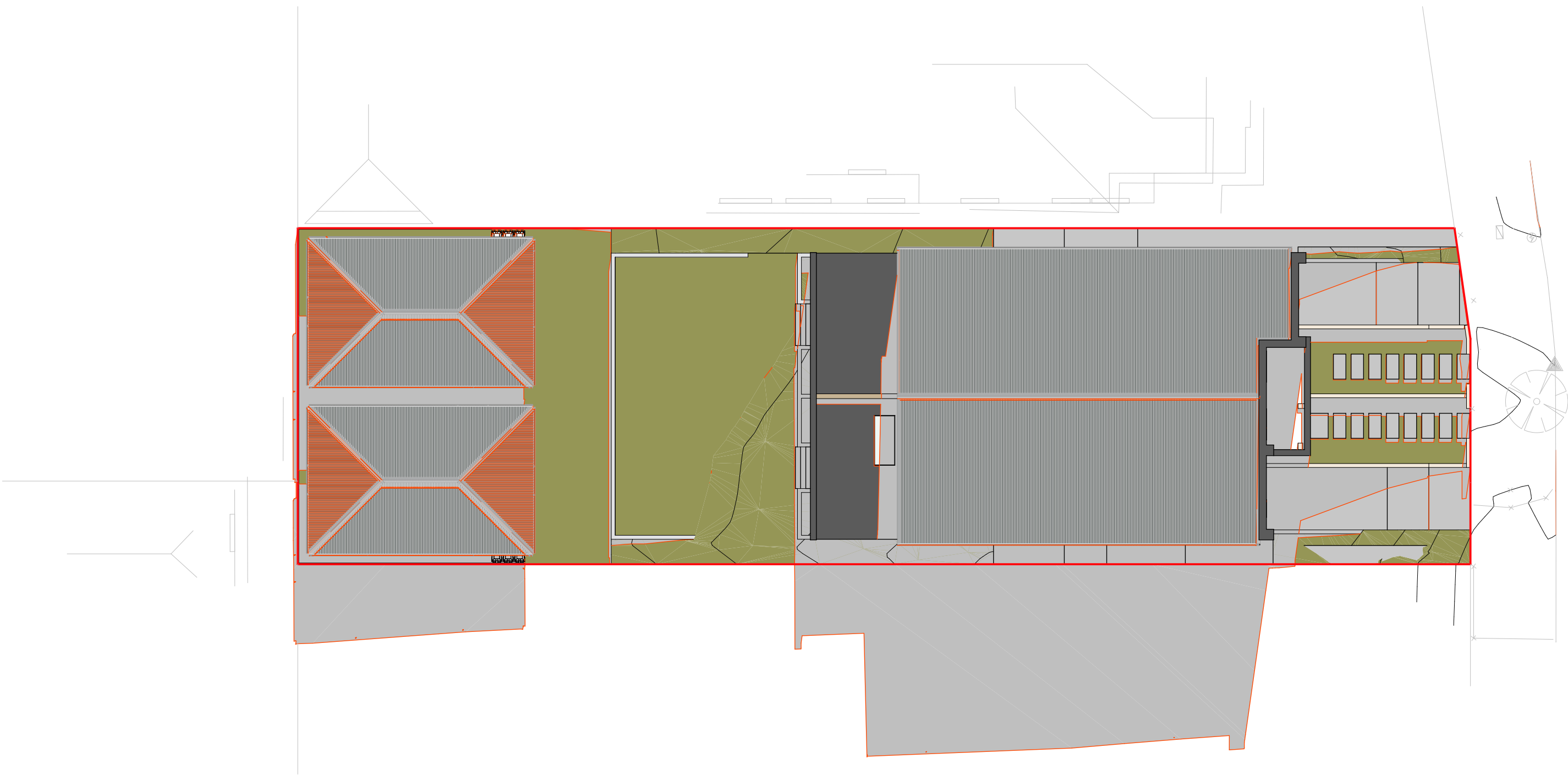
01  
-

SHADOW DIAGRAMS @ 21st JUNE 9am WINTER SOLSTICE  
1:200



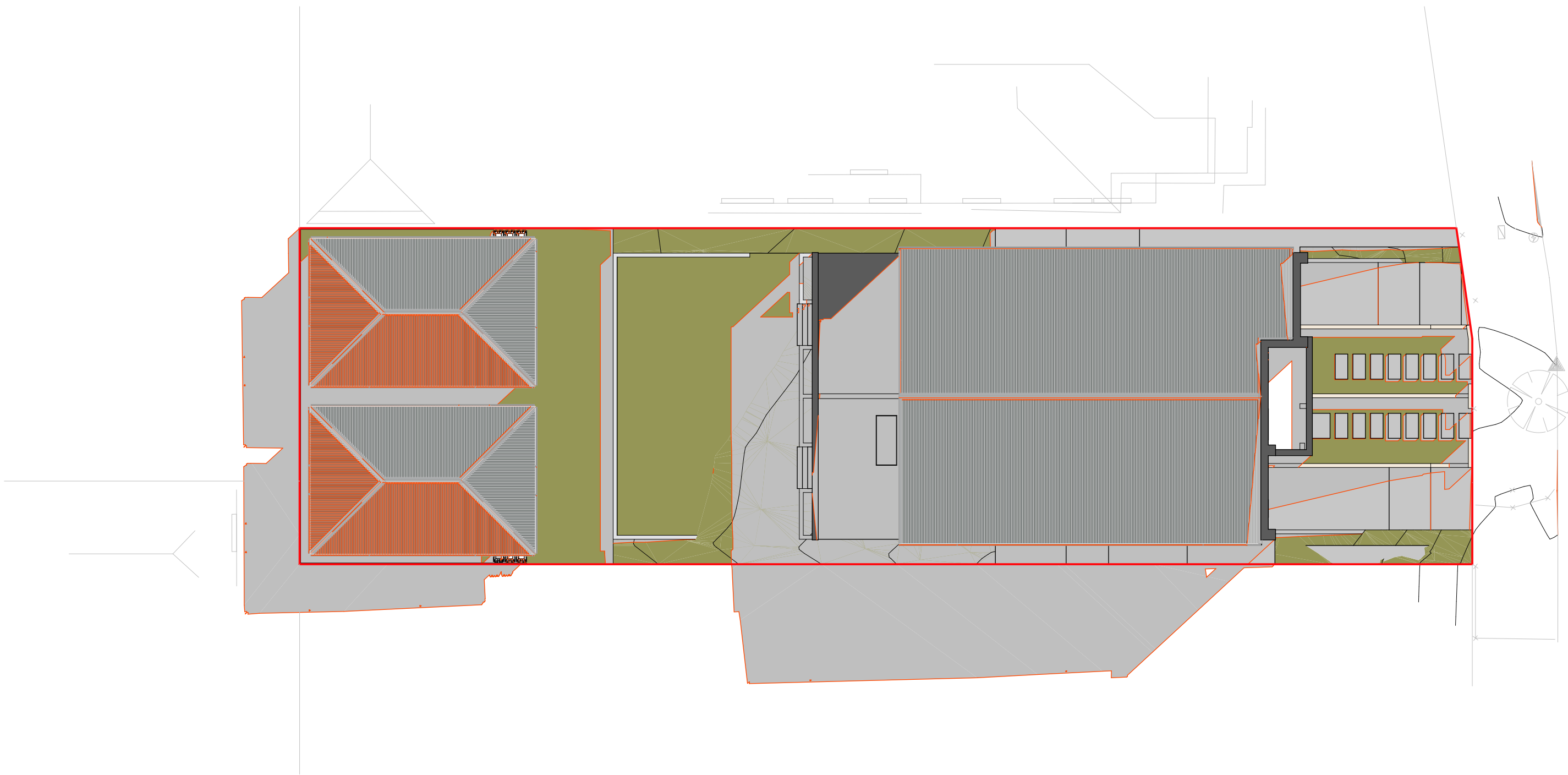
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SHADOW DIAGRAMS @ 21st JUNE 10am WINTER SOLSTICE  
1:200



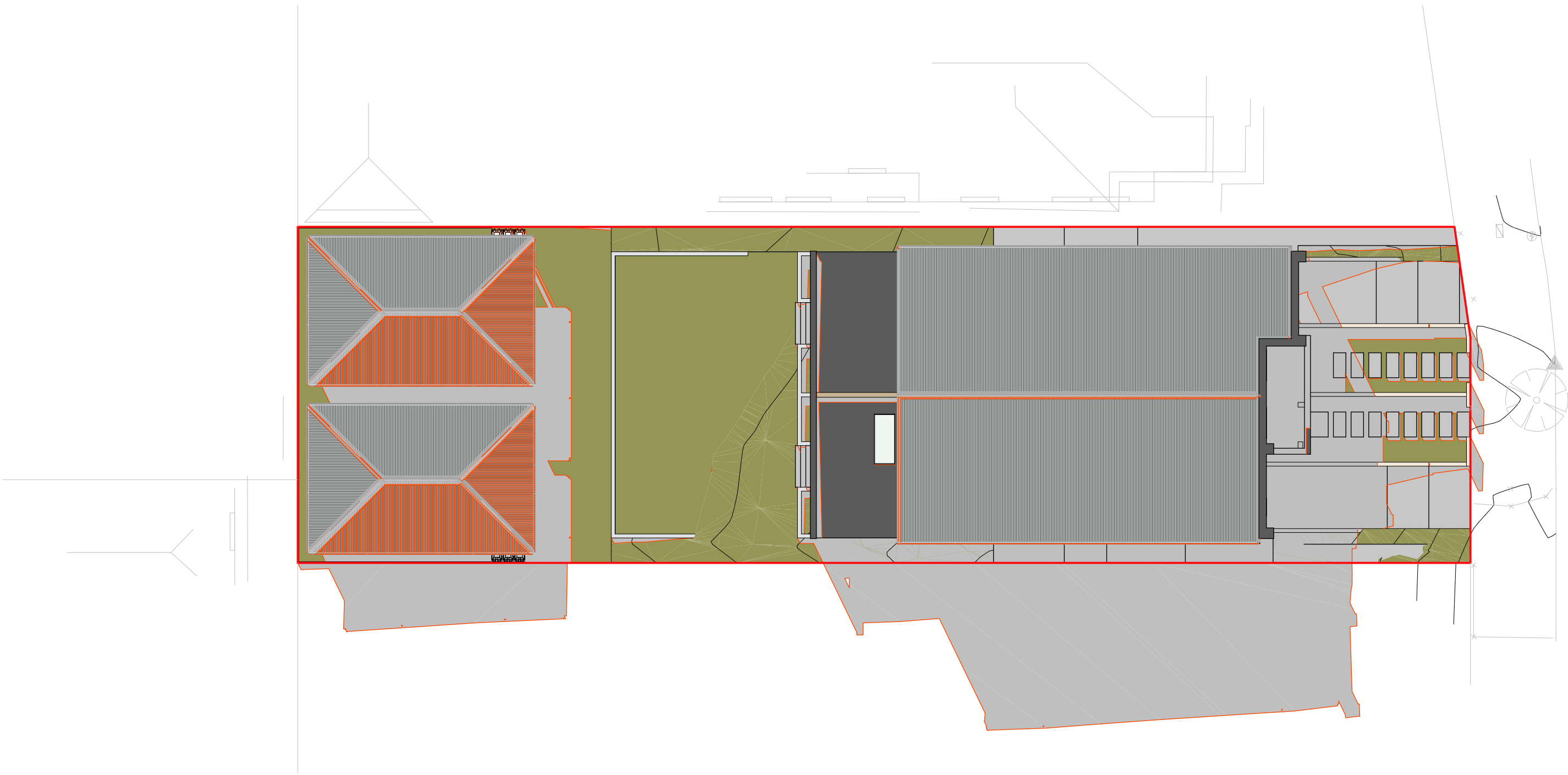
03  
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SHADOW DIAGRAMS @ 21st JUNE 11am WINTER SOLSTICE  
1:200



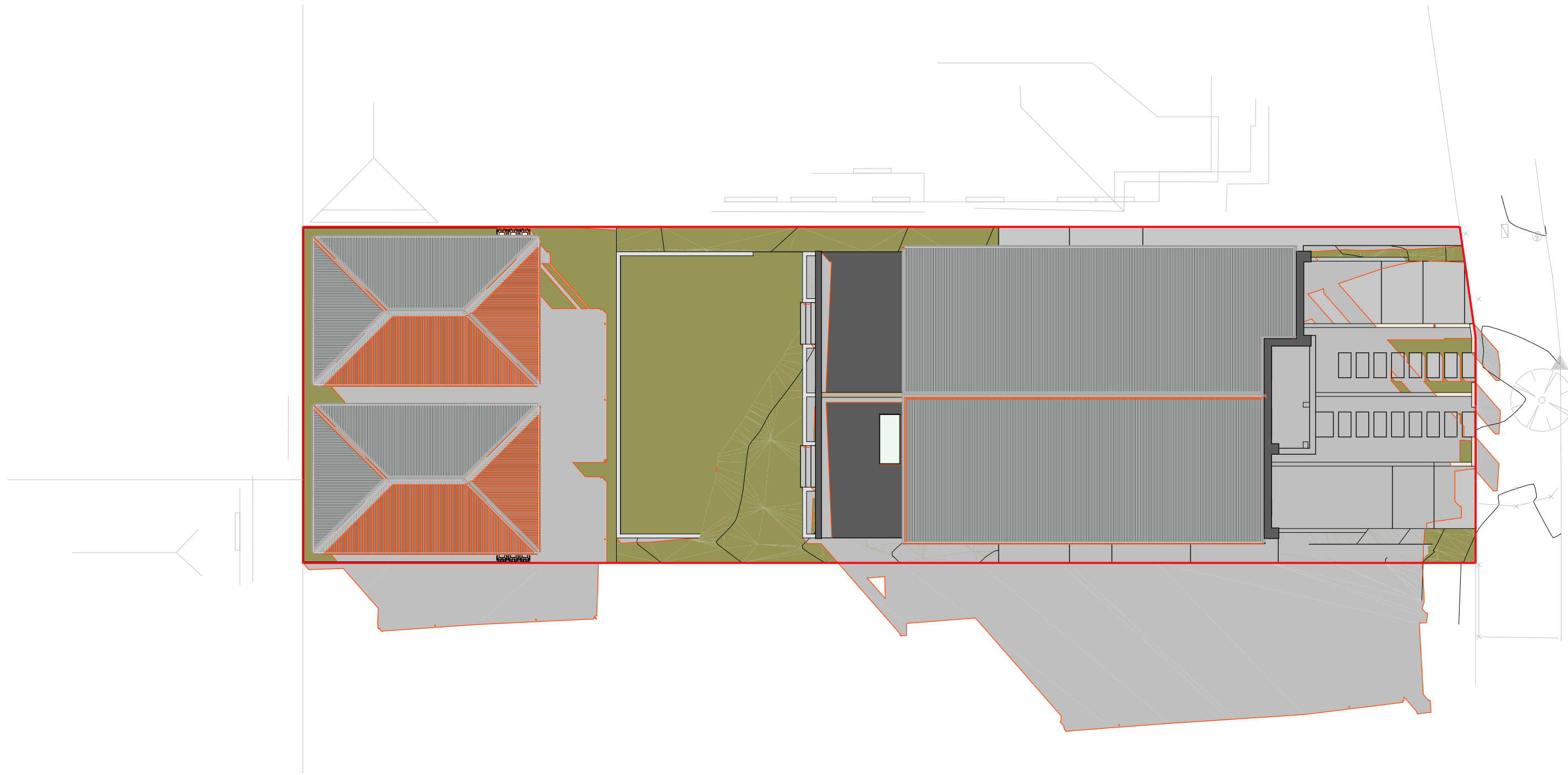
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-

SHADOW DIAGRAMS @ 21st JUNE 12pm WINTER SOLSTICE  
1:200



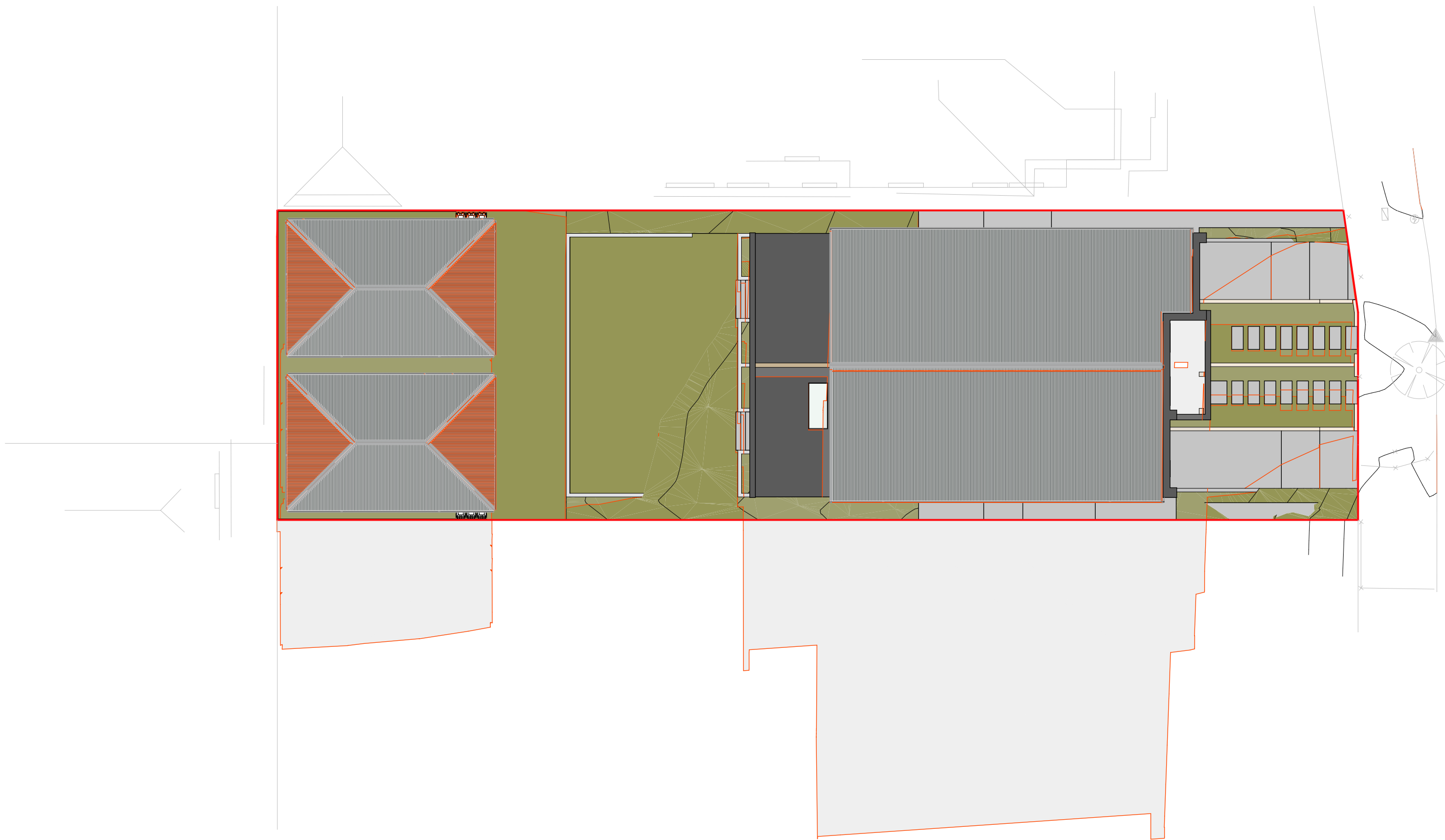
01  
-

SHADOW DIAGRAMS @ 21st JUNE 1pm WINTER SOLSTICE  
1:200



02  
-

SHADOW DIAGRAMS @ 21st JUNE 2pm WINTER SOLSTICE  
1:200



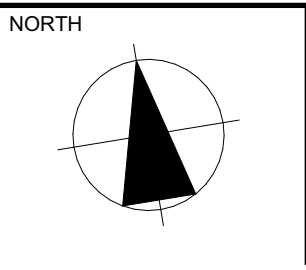
03  
-

SHADOW DIAGRAMS @ 21st JUNE 3pm WINTER SOLSTICE  
1:200

| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
|       |                                            |            |
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|       |                                            |            |
|       |                                            |            |

| NOTES                                                                                                                                                                                                                                               |
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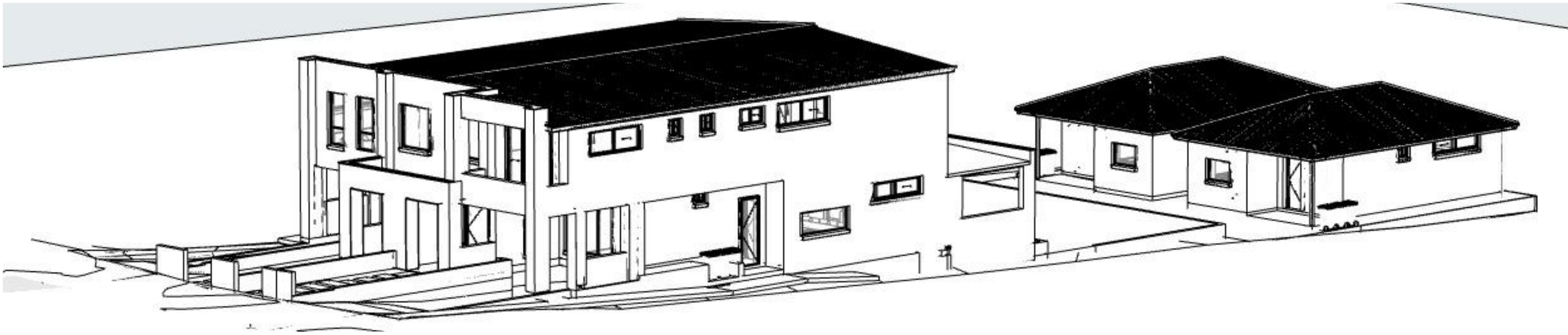
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| 1:100 @ A1 or 1:200 @ A3 |



| DRAWING TITLE   |
|-----------------|
| SHADOW DIAGRAMS |
| DRAWING NO      |
| DA17            |

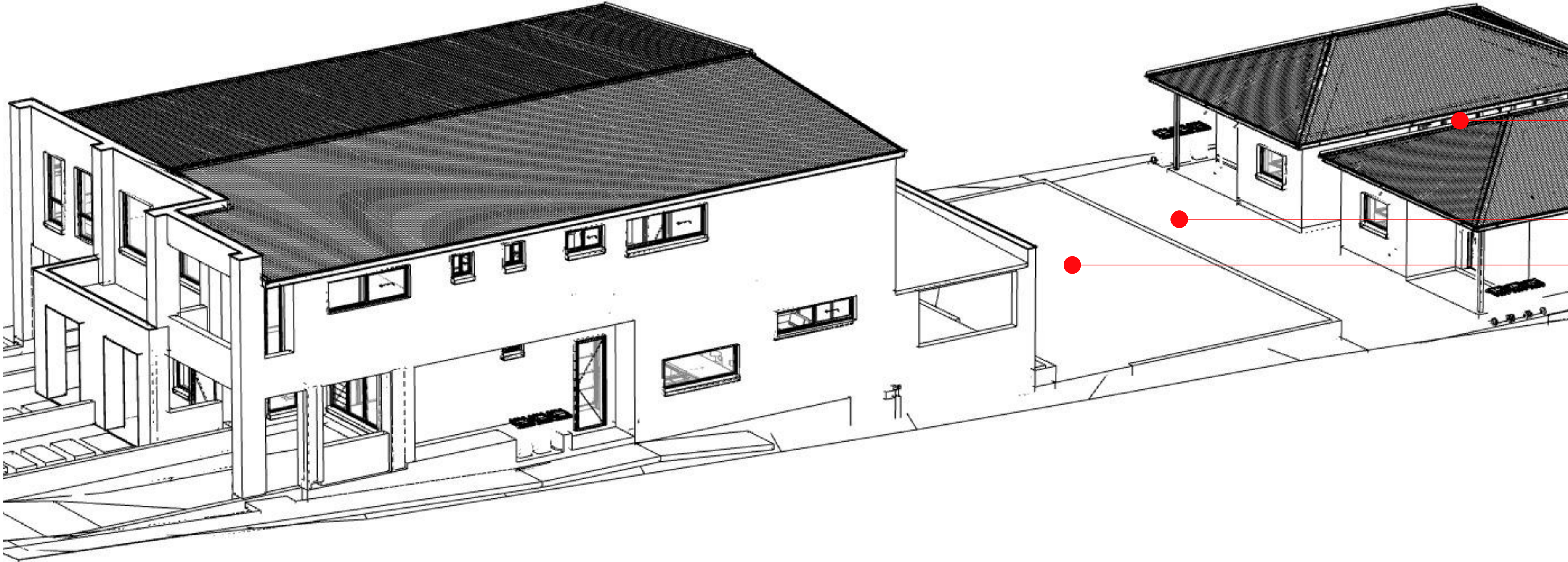
| PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS |                    |              |                |                         |
|-----------------------------------------------|--------------------|--------------|----------------|-------------------------|
| 24 SAURINE STREET, BANKSTOWN                  |                    |              |                |                         |
| JOB NO.<br>26002                              | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |





01  
-

SOLAR DIAGRAM @ 21st JUNE 8am WINTER SOLSTICE  
1:100



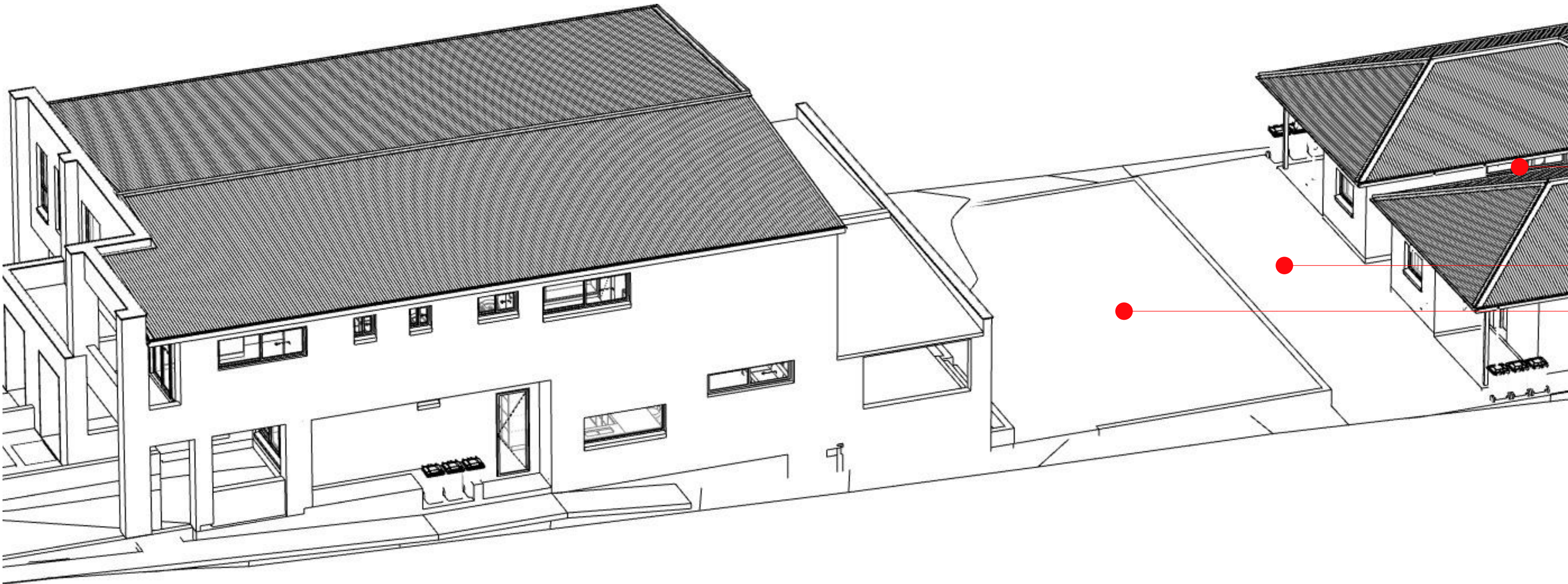
SECONDARY DWELLING RECEIVING SOLAR ACCESS

SECONDARY DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

01  
-

SOLAR DIAGRAM @ 21st JUNE 9am WINTER SOLSTICE  
1:100



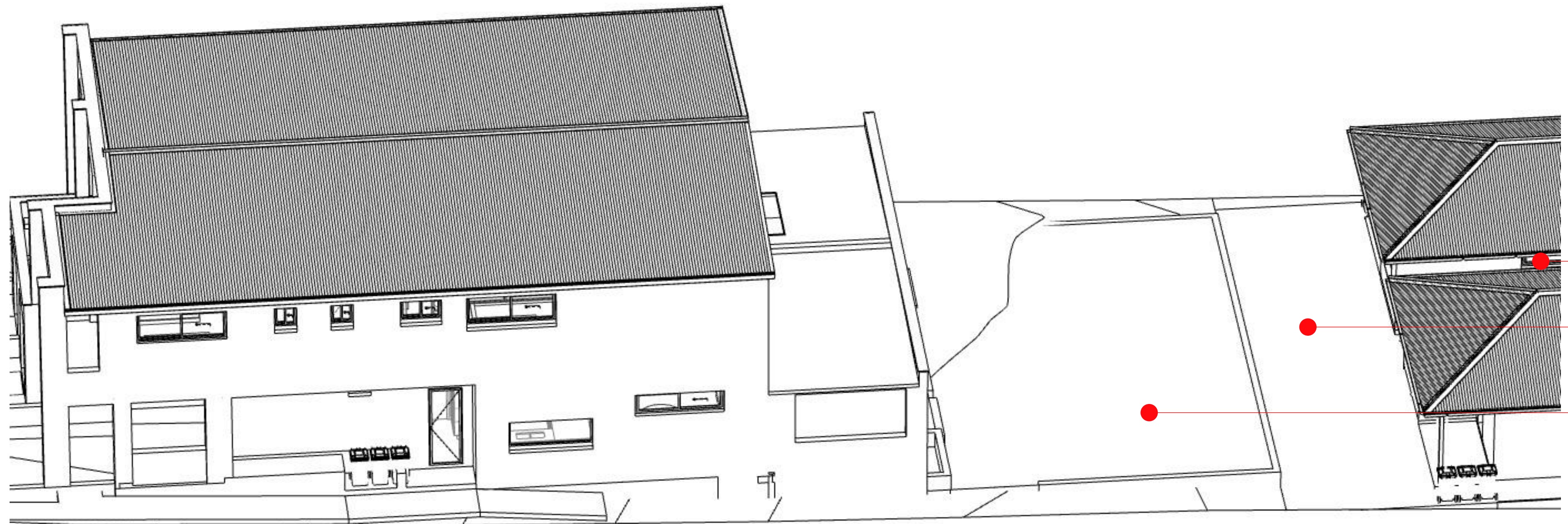
SECONDARY DWELLING RECEIVING SOLAR ACCESS

SECONDARY DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

01  
-

SOLAR DIAGRAM @ 21st JUNE 10am WINTER SOLSTICE  
1:100

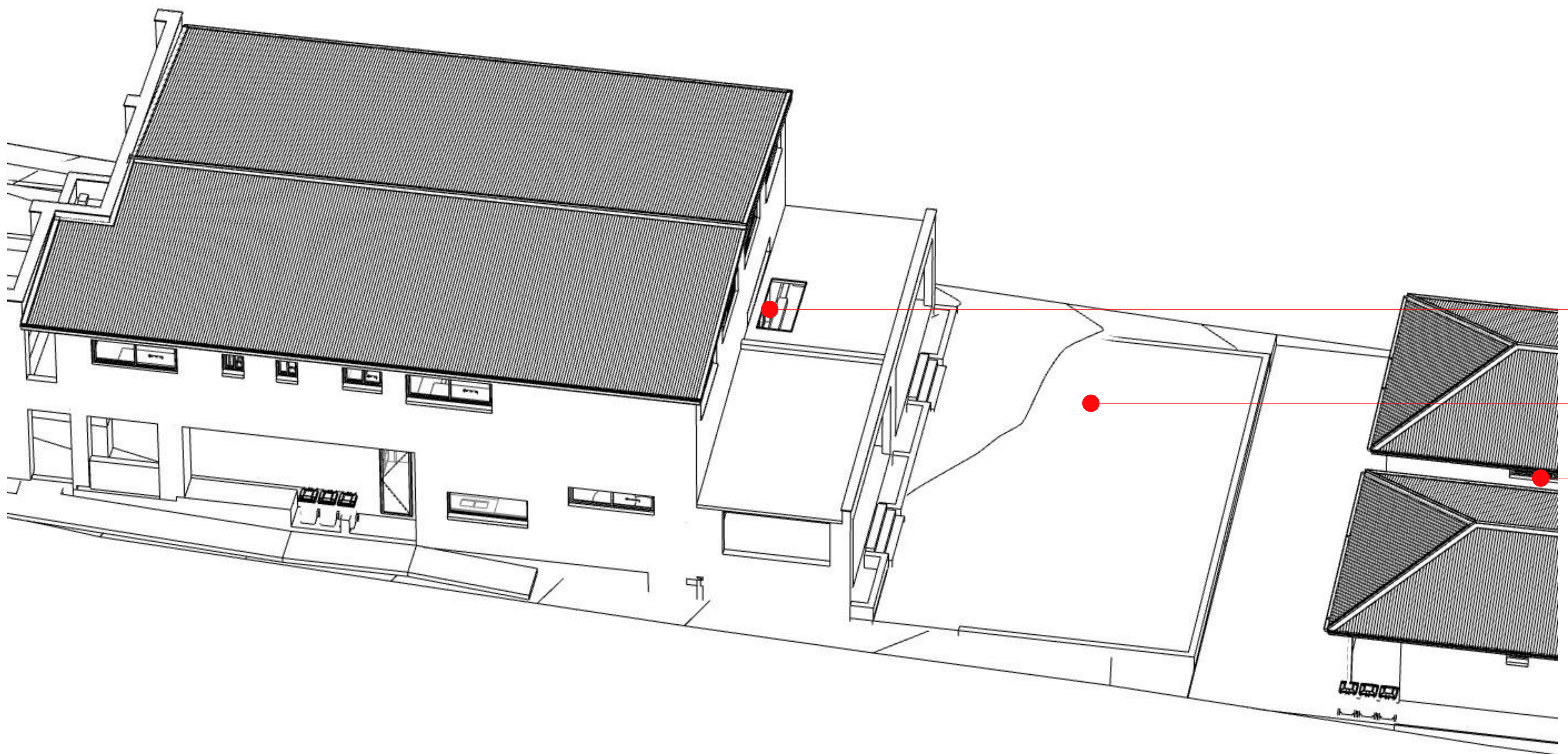


SECONDARY DWELLING RECEIVING SOLAR ACCESS

SECONDARY DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

01  
- SOLAR DIAGRAM @ 21st JUNE 11am WINTER SOLSTICE  
1:100

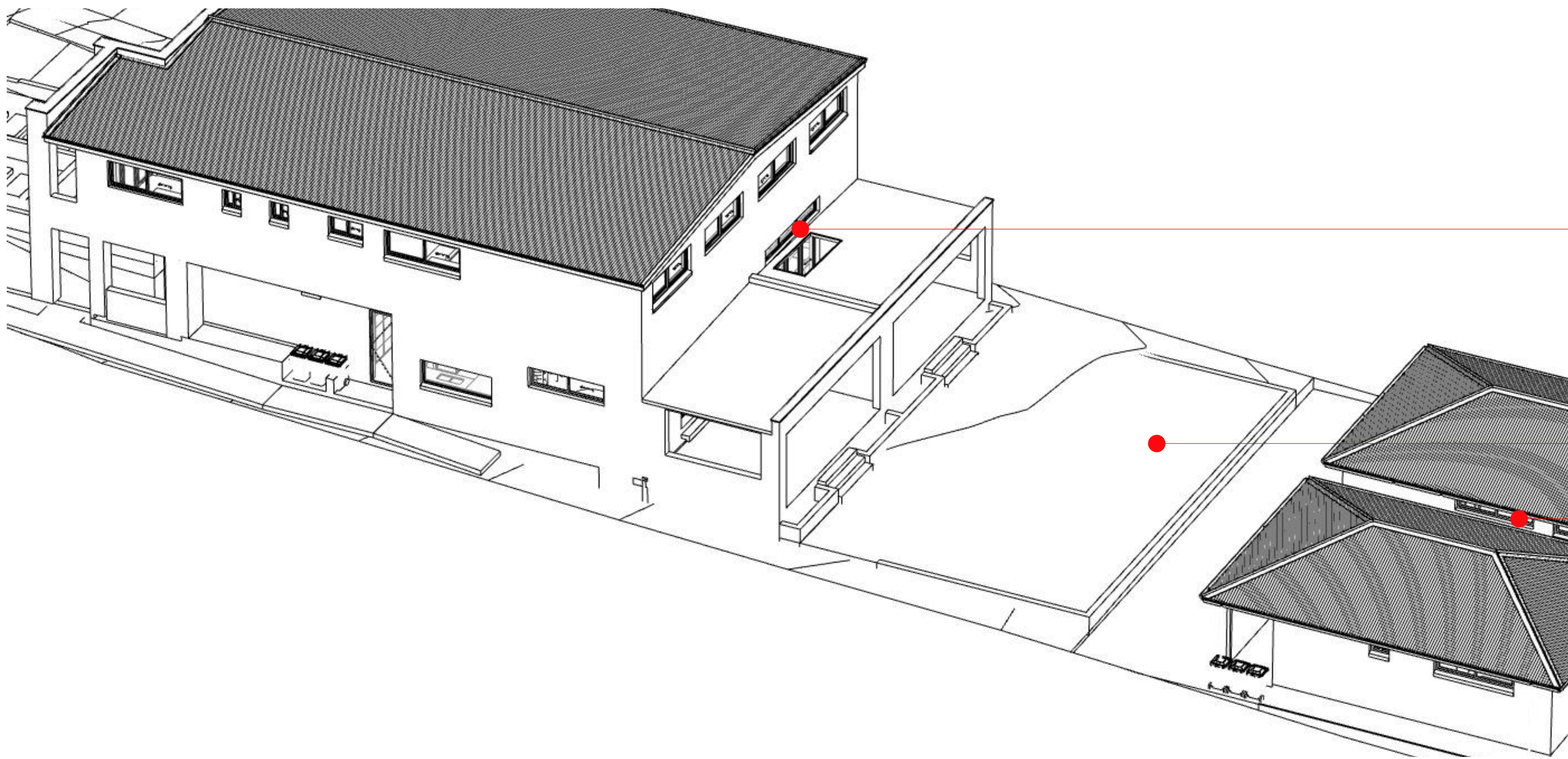


MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE AND LIVING ROOM VIA SKYLIGHT

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

SECONDARY DWELLING RECEIVING SOLAR ACCESS

01  
- SOLAR DIAGRAM @ 21st JUNE 12pm WINTER SOLSTICE  
1:100



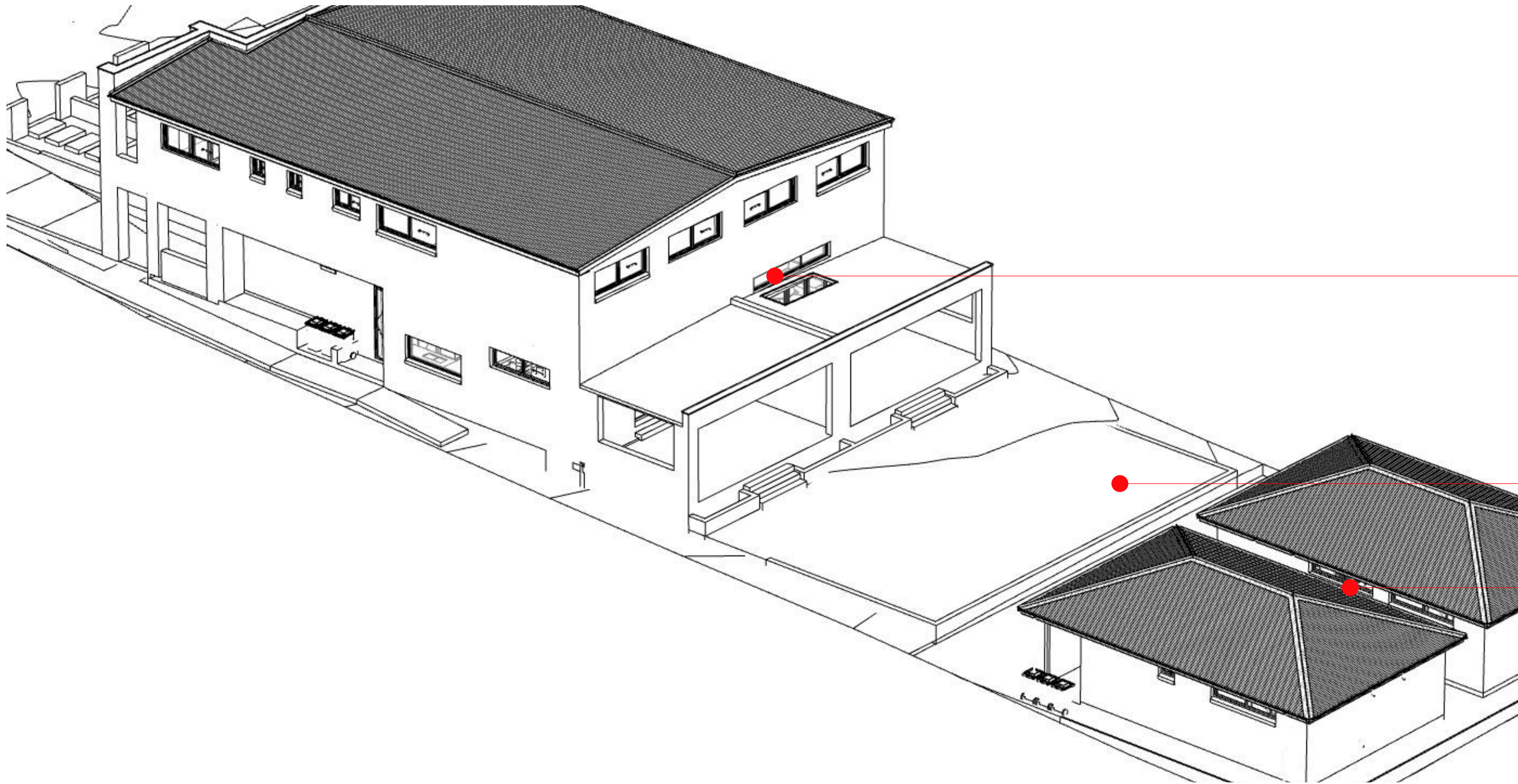
MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE AND LIVING ROOM VIA SKYLIGHT AND FIXED WINDOW LOCATED ABOVE SLIDING DOOR

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

SECONDARY DWELLING RECEIVING SOLAR ACCESS

01  
-

SOLAR DIAGRAM @ 21st JUNE 1pm WINTER SOLSTICE  
1:100



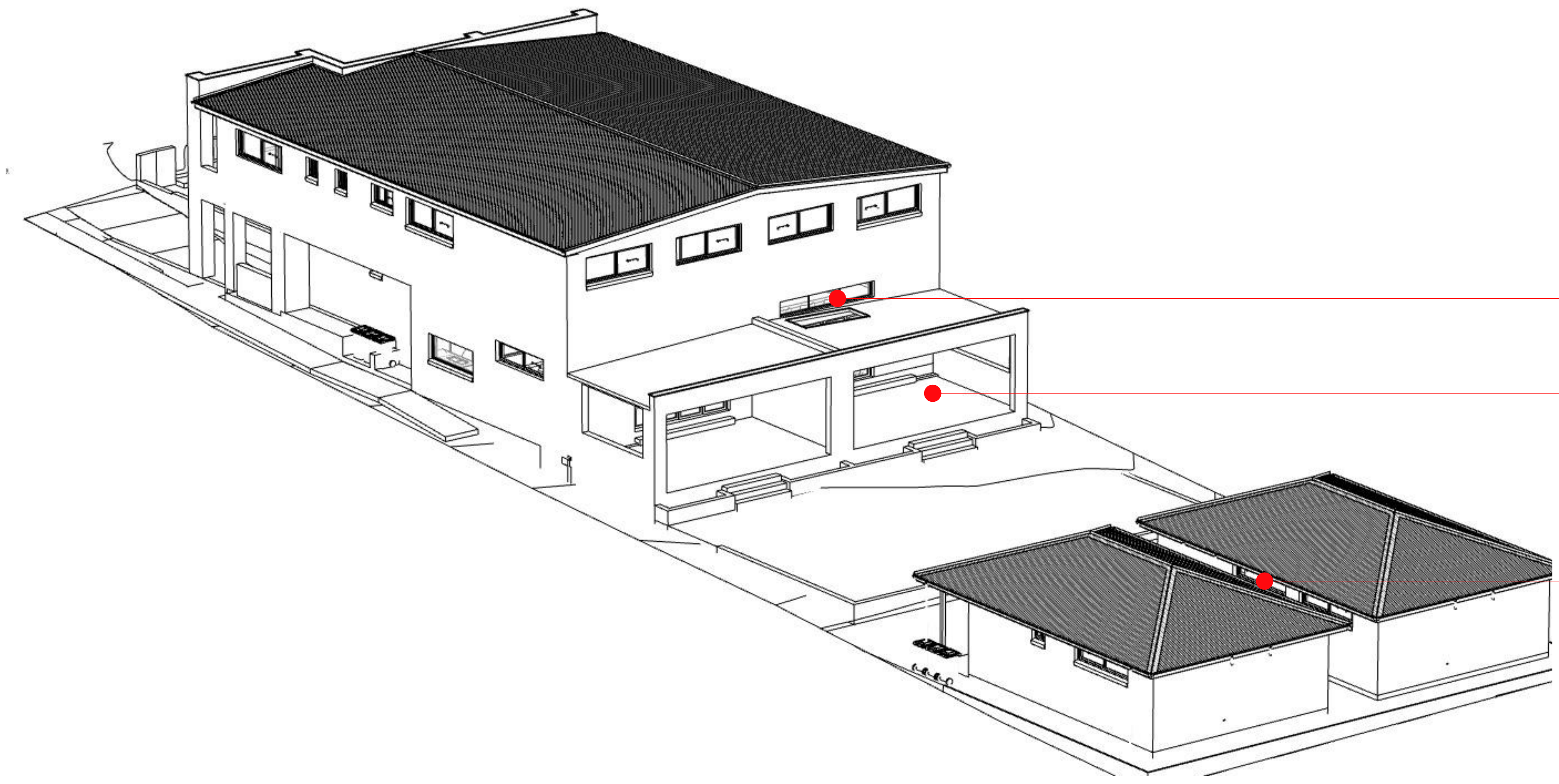
MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE AND LIVING ROOM VIA SKYLIGHT AND FIXED WINDOW LOCATED ABOVE SLIDING DOOR

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

SECONDARY DWELLING RECEIVING SOLAR ACCESS

01  
-

SOLAR DIAGRAM @ 21st JUNE 2pm WINTER SOLSTICE  
1:100



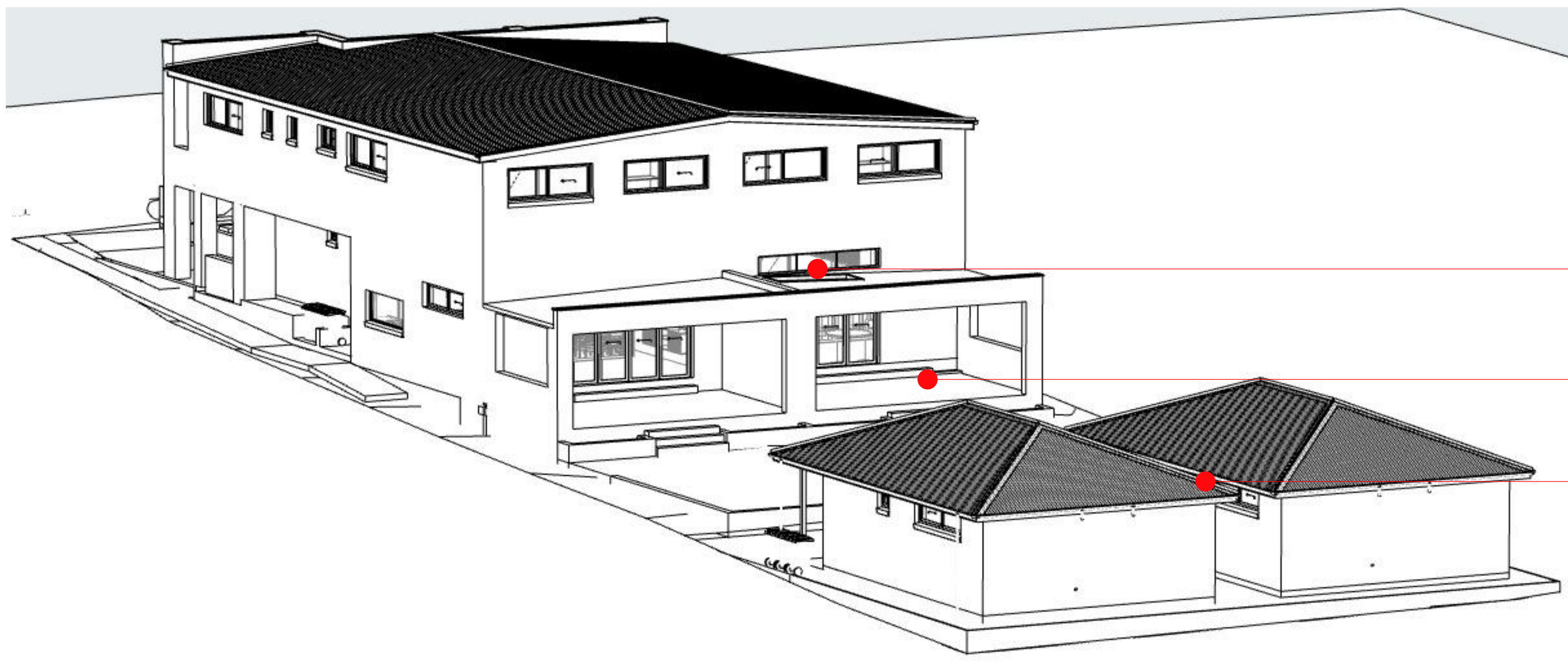
MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE AND LIVING ROOM VIA SKYLIGHT AND FIXED WINDOW LOCATED ABOVE SLIDING DOOR

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

SECONDARY DWELLING RECEIVING SOLAR ACCESS

01  
-

SOLAR DIAGRAM @ 21st JUNE 3pm WINTER SOLSTICE  
1:100



MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE AND LIVING ROOM VIA SKYLIGHT AND FIXED WINDOW LOCATED ABOVE SLIDING DOOR

MAIN DWELLING RECEIVING SOLAR ACCESS TO PRINCIPAL PRIVATE OPEN SPACE

SECONDARY DWELLING RECEIVING SOLAR ACCESS

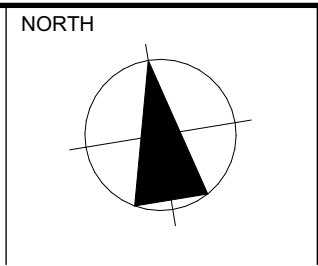
01  
-

SOLAR DIAGRAM @ 21st JUNE 4pm WINTER SOLSTICE  
1:100

| ISSUE | DESCRIPTION                                | DATE       |
|-------|--------------------------------------------|------------|
| 01    | ISSUE FOR DEVELOPMENT APPLICATION APPROVAL | 15/07/2026 |
|       |                                            |            |
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SCALE  
  
1:100 @ A1 or 1:200 @ A3



DRAWING TITLE  
**SOLAR DIAGRAMS - VIEWS FROM THE SUN**  
DRAWING NO  
**DA21**

| PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS |                    |              |                |                         |
|-----------------------------------------------|--------------------|--------------|----------------|-------------------------|
| 24 SAURINE STREET, BANKSTOWN                  |                    |              |                |                         |
| JOB NO.<br>26002                              | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |



LEGEND - SITE PLAN

- EXTENT OF SITE BOUNDARY
- GRIDLINE
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- EXISTING SITE LEVELS
- PROPOSED TOP OF WALL LEVEL (TOW)
- PROPOSED BOTTOM OF WALL LEVEL (BOM)
- EXTERNAL LANDSCAPE AREA
- CONCRETE TO CIVIL ENGINEERS DETAILS

LEGEND - SUBDIVISION PLAN

- PROPOSED LINE OF SUBDIVISION
- PROPOSED BUILDING FOOTPRINT
- SITE AREA CALCULATION

LEGEND - GFA & CALCULATIONS

- GROSS FLOOR AREA (GFA)
- LANDSCAPING AREA (MIN. 1.5x1.5m)
- PRIVATE OPEN SPACE (MIN. 4x4m)
- ARTICULATION ZONE (1.5m)
- ARTICULATION ELEMENTS (25%)

GENERAL LEGEND

- EXISTING FINISHED FLOOR LEVEL MARKER
- PROPOSED FINISHED FLOOR LEVEL MARKER
- EXISTING FINISHED LEVEL ELEVATION MARKER
- PROPOSED FINISHED LEVEL ELEVATION MARKER
- FLOOR WASTE PENETRATION
- SMOKE ALARM TO AS3786
- DIRECTION AND ANGLE OF INCLINING GRADIENT
- REVIEW / REVISION CLOUD
- PENETRATION ABOVE
- FLOOR PENETRATION BELOW

HYDRAULIC / STORMWATER LEGEND

- DOWNPIPE - REFER TO CIVIL ENGINEERS DETAILS
- PLANTER DRAIN OUTLET
- SPOOD DRAIN OUTLET
- RAIN WATER OUTLET
- STORMWATER PIT - REFER TO CIVIL ENGINEERS DETAILS
- RAIN WATER TANK TO BASIX REQUIREMENTS AND STORMWATER ENGINEERS DETAILS

LEGEND - CONCRETE SETOUT

- INTERNAL FINISHED SLAB LEVEL
- 50MM SETDOWN TO WET AREA
- 100MM SETDOWN TO EXTERNAL

LEGEND - REFLECTED CEILING PLAN

- MOISTURE RESISTANT BOARD - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- PLASTER BOARD CEILING - PAINT FINISH
- CEILING/ SOFFIT HEIGHT FROM FFL
- RECESS FOR CURTAIN/BLIND

LEGEND - DEMOLITION PLAN

- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE TO BE REMOVED / DEMOLISHED
- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.

-PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

-NB: CARE MUST BE TAKEN WHILE CARRING OUT THE WORKS.

-PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

-REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

-EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

-BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

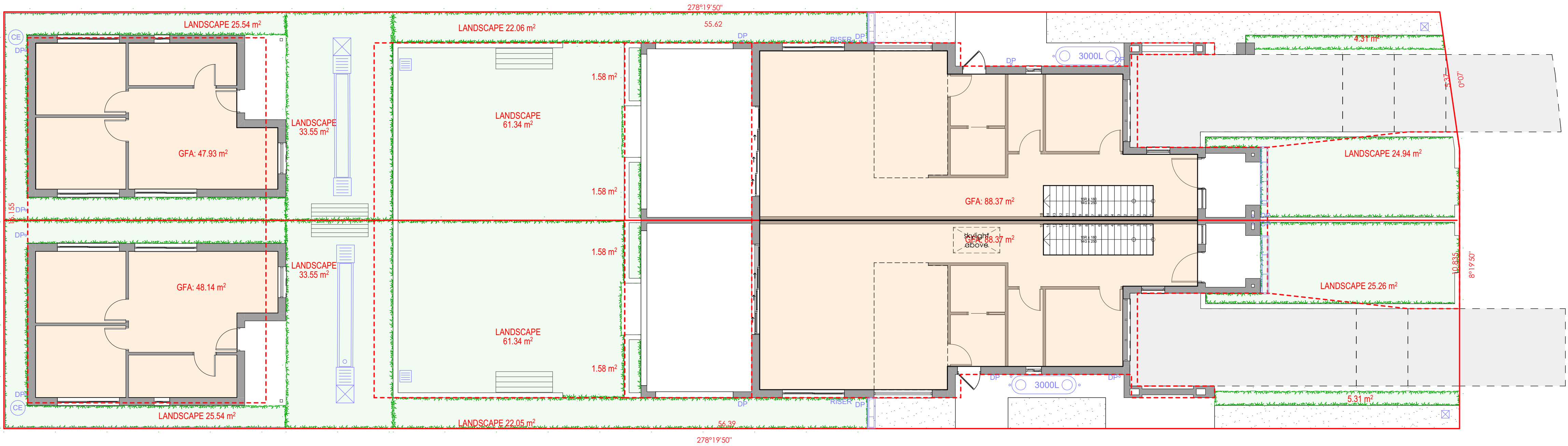
NOTES

- COMMON WALL FIRE SEPARATION CLAUSE 9.3.1 OF THE HOUSING PROVISIONS 2022 (FRL 60/60/60)
- COMMON WALL SOUND SEPARATION CLAUSE 10.7.1 OF THE HOUSING PROVISIONS 2022
- MECHANICAL VENTILATION CLAUSE 10.6.2 OF THE HOUSING PROVISIONS 2022
- SMOKE ALARMS CLAUSE 9.5.4 OF THE HOUSING PROVISIONS 2022
- BALUSTRADES INSTALLATION CLAUSE 11.3.4 OF THE HOUSING PROVISIONS 2022
- PROTECTION OF OPERABLE WINDOWS CLAUSE 11.3.7 OF THE HOUSING PROVISIONS 2022

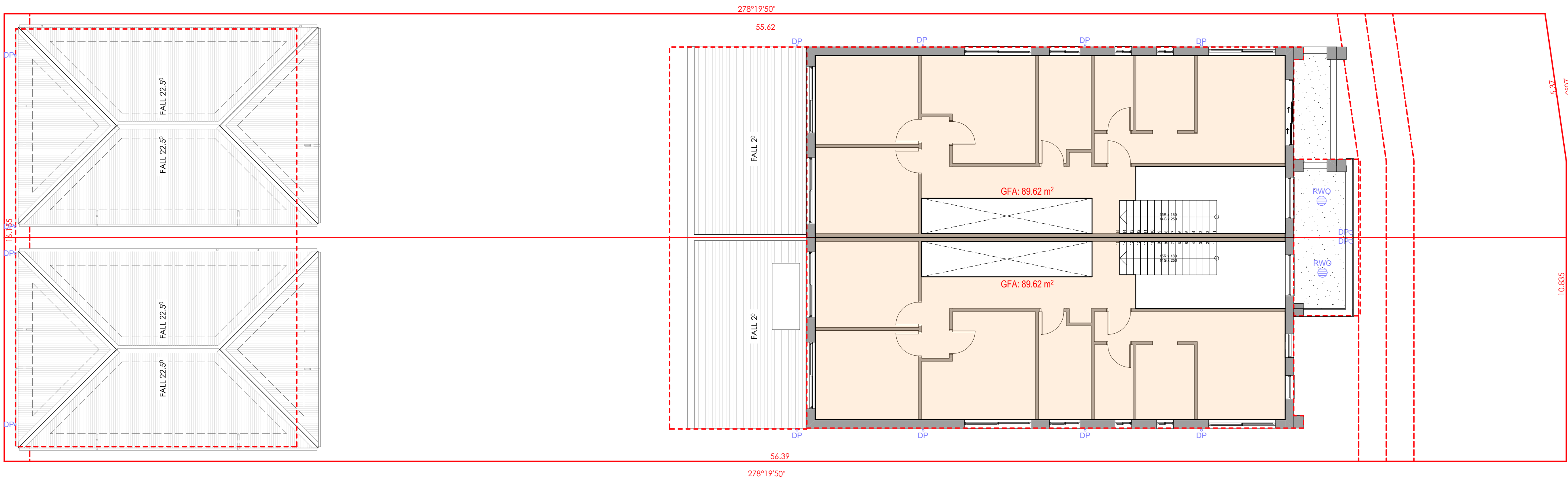
LEGEND - WALL TYPES

- 250mm BRICK VENEER WALL
- 110mm FACE BRICK + 50mm CAVITY + 90mm TIMBER STUD + 10mm GYPROCK
- 230mm BRICK VENEER WALL
- 110mm FACE BRICK + 10mm CAVITY + 110mm FACE BRICK
- 90mm STUD WALL
- 10mm GYPROCK + 90mm TIMBER STUD + 10mm GYPROCK
- CSR 360 TIMBER FRAMED PARTY WALL SYSTEM
- 10mm GYPROCK + 90mm TIMBER STUD + 20mm CAVITY + 25mm GYPROCK SHAFT LINER PANEL + 90mm TIMBER STUD + 10mm GYPROCK
- 225mm HERBAL VENEER WALL
- 10mm ACRYLIC RENDER + 100mm NRG
- Greenboard + 25mm CAVITY + 90mm TIMBER STUD + 10mm GYPROCK

| LEGEND                        |                |
|-------------------------------|----------------|
|                               | PROPOSED GFA   |
|                               | POS            |
|                               | LANDSCAPE AREA |
|                               | ARTICULATION   |
| DEVELOPMENT DATA              |                |
| SITE AREA: 904.2m2            |                |
| MAX. ALLOWABLE GFA = 452.1m2  |                |
| PROPOSED GFA = 452.05         |                |
| MIN. LANDSCAPE REQ. = 206.6m2 |                |
| PROPOSED LANDSCAPE = 351.11   |                |



GROUND FLOOR CALCULATION PLAN  
1:100



FIRST FLOOR CALCULATION PLAN  
1:100

| ISSUE | DESCRIPTION                                | DATE       | NOTES                                                                                                                                                                                                                                               | SCALE                    | NORTH | DRAWING TITLE                           | PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS |                    |              |                |                         | ECOTECH DESIGNS             |  |
|-------|--------------------------------------------|------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------|-----------------------------------------|-----------------------------------------------|--------------------|--------------|----------------|-------------------------|-----------------------------|--|
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|       |                                            |            | Figured dimensions shall take preference over scaling. Verify all dimensions on site.                                                                                                                                                               |                          |       |                                         | JOB NO.<br>26002                              | DATE<br>15/07/2026 | DRAWN<br>P.G | CHECKED<br>P.G | SCALE<br>As Shown on A1 |                             |  |

# SCHEDULE OF EXTERNAL MATERIAL & FINISHES:

COLOURBOND ROOF  
SHEETS SHALE GREY  
OR SIMILAR



EXTERNAL WINDOW  
FRAMES PAINTED  
DULUX MONUMENT  
GREY



ST.1  
SANDSTONE CLADDING  
OR SIMILAR



FB.1  
PGH BRICK -  
MANHATTAN CHELSA  
OR SIMILAR



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| NOTES                                                                                                                                                                                                                                               |
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| SCALE                    |
|--------------------------|
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| NORTH |
|-------|
|       |

| DRAWING TITLE                           |
|-----------------------------------------|
| SCHEDULE OF COLOURS & EXTERNAL FINISHES |
| DRAWING NO                              |
| DA23                                    |

| PROPOSED DUAL OCCUPANCY & SECONDARY DWELLINGS |                    |              |                |                         |
|-----------------------------------------------|--------------------|--------------|----------------|-------------------------|
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|  |                                                   |
|--|---------------------------------------------------|
|  | ECOTECH<br>DESIGNS<br>BUILDING DREAMS SUSTAINABLY |
|--|---------------------------------------------------|